



CITY OF LEEDS, ALABAMA

PLANNING AND ZONING COMMISSION AGENDA

1412 9th St - Annex

March 14, 2024 @ 5:00 PM

CALL TO ORDER:

ROLL CALL:

DETERMINATION OF QUORUM:

APPROVAL OF MINUTES FROM PREVIOUS MEETING(S):

OLD BUSINESS:

NEW BUSINESS:

1. SA24-000001 - A request by Newcastle Development, LLC, Applicant, United States Steel, Owner, for Preliminary Plat Approval of Grand River South Residential Phase 3, located at 995 Rex Lake Rd (Site Only), TPID(s)2400253000001.001, 2400264000001.000 and 2400261000001.000, Zoned PCD - Planned Community Development, Jefferson County.
2. To be heard April 11, 2024 - RA23-000006 - A request by Bert Boykin, Applicant, High Tide Oil Company, Inc., Owner, to rezone certain parcels of property from R-2, Single Family District to I-2, Heavy Industrial District at 8514 Pearl St, 35094, TPID 2500281002004000, Jefferson County.
3. To be heard on April 11, 2024 - SA23-000012 - Variance - A request by MTTR Engineers, Inc., Applicant, SHERIDAN SOUTH, LLC / JOHN R. FRAWLEY, JR., Owners for variances of the subdivision regulations : 1. to allow a forty (40) foot private road ROW in lieu of the required fifty (50) foot ROW, 2. Improvements to widen existing pavement to 20" wide in ROW of Norman Drive , 3. 20' Tar and gravel emergency access to Katie Lane vs. standard width road Access to emergency vehicles only, not public. 4. 30' front building line lot 17 in lieu of the required 35 feet.
4. To be heard on April 11, 2024 - SA23-000012 - A request by MTTR Engineers, Inc., applicant, SHERIDAN SOUTH, LLC / JOHN R. FRAWLEY, JR., Owner, for a preliminary plat - PARKSTONE MEADOWS SUBDIVISION - 29 llots, located at 1198 MAPLEWOOD DR LEEDS AL 35094 (Site Only), TPID: 2500204002020000, Zoned: R-3, Multi-Family District, Jefferson County.
5. SA24-000002 - A request by Smith Douglas Homes - Tyler Harper, Owner and Applicant, for final plat approval of the Dansby Valley PHI - 67 lots - at 9119 Weaver Ave, 35094 - Site Only - TPID(s) 260110001047004, 032000, 047003, & 030000, Zoned R-5 Garden Home District
6. Administrative - Release bond for Bella Rosa Subdivision

PUBLIC ADDRESS:

OTHER BUSINESS:

CHAIRPERSON'S COMMUNICATION:

ADJOURNMENT:

In compliance with the Americans with Disabilities Act, those requiring accommodation for Council meetings should notify the City Clerk's Office at least 24 hours prior to the meeting at 205-699-2585.

File Attachments for Item:

1. SA24-000001 - A request by Newcastle Development, LLC, Applicant, United States Steel, Owner, for Preliminary Plat Approval of Grand River South Residential Phase 3, located at 995 Rex Lake Rd (Site Only), TPID(s)2400253000001.001, 2400264000001.000 and 2400261000001.000, Zoned PCD - Planned Community Development, Jefferson County.

GRAND RIVER SOUTH RESIDENTIAL PHASE THREE

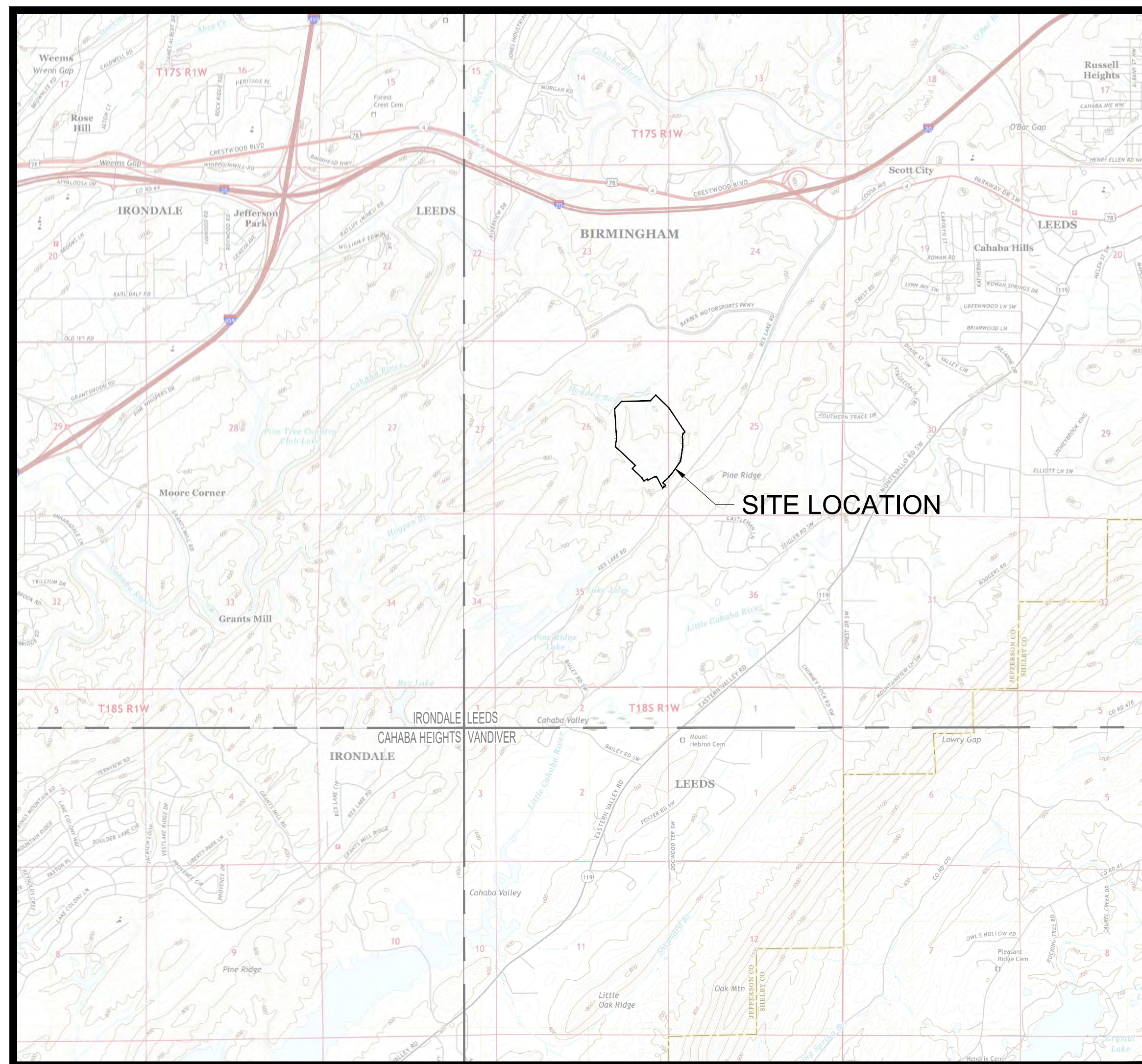
A PROPOSED RESIDENTIAL SUBDIVISION

LOCATED IN THE
WEST 1/2 of SECTION 25, EAST 1/2 of SECTION 26, TOWNSHIP 17 SOUTH, RANGE 1 WEST
JEFFERSON COUNTY, ALABAMA

FOR
NEWCASTLE DEVELOPMENT, LLC
121 BISHOP CIRCLE | PELHAM, AL 35124

SITE ADDRESS
995 REX LAKE ROAD, LEEDS, ALABAMA 35094

INDEX TO
PROJECT



PROJECT VICINITY MAP
Scale: NONE

PROJECT CONTACTS

OWNER/DEVELOPER:
NEWCASTLE DEVELOPMENT, LLC
121 BISHOP CIRCLE
PELHAM, AL 35124
Ph: 205.326.7406

CITY OF LEEDS:
DEVELOPMENT SERVICES
1404 9th STREET
LEEDS, AL 35094
Ph: 205.699.2585

ENGINEER:
NEWCASTLE DEVELOPMENT, LLC
121 BISHOP CIRCLE
PELHAM, AL 35124
Ph: 205.326.7406
CONTACT: BRANDON D. TODD, PE
AL. REG. NO. 31676
Ph 205.529.2594

POWER:
ALABAMA POWER COMPANY
Ph: 205.288.4890
CONTACT: DYLAN JORDAN

GAS:
SPIRE ENERGY
Ph: 205.327.9140
CONTACT: CAROLINE LAWRENCE

SURVEYOR:
SCHOEL ENGINEERING COMPANY, INC.
1001 22nd STREET SOUTH
BIRMINGHAM, AL 35205
Ph: 256.245.3243
CONTACT: MARK W. CLARK, PLS

WATER:
LEEDS WATER WORKS BOARD
P.O. BOX 100
LEEDS, AL 35094
Ph: 205.699.5151

CIVIL CONTRACTOR:
TBD

SEWER:
JEFFERSON COUNTY ENVIRONMENTAL SERVICES
716 RICHARD ARRINGTON JR. BLVD. NORTH
BIRMINGHAM, AL 35203
Ph: 205.325.5496

COMMUNICATIONS:
AT&T
Ph: 205.403.9158

PLAN SHEETS:

- | | |
|-------------|---|
| C0.00 | TITLE SHEET |
| C0.01 | PROJECT NOTES |
| Sheets 1-7 | BOUNDARY SURVEY |
| C1.00-C1.05 | EXISTING CONDITIONS |
| C2.00-C2.05 | SITE LAYOUT/PRELIMINARY PLAN |
| C3.00-C3.05 | EROSION AND SEDIMENT CONTROL - INITIAL |
| C3.06-C3.11 | EROSION AND SEDIMENT CONTROL - INTERMEDIATE |
| C3.12-C3.17 | EROSION AND SEDIMENT CONTROL - FINAL |
| C4.00-C4.05 | GRADING & DRAINAGE PLAN |
| C5.00-C5.09 | STORM DRAINAGE PLAN & PROFILES |
| C6.00-C6.09 | ROADWAY PLAN & PROFILES |
| C7.00-C7.08 | UTILITY PLAN & DETAILS |
| C9.00-C9.07 | PROJECT DETAILS |

SITE DATA TABLE	
Total Property Acreage	93.599 Acres
Proposed Common Area Acreage	46.955 Acres
Proposed Rights of Way	10.350 Acres
Proposed Lot Acreage	36.293 Acres
Current Zoning	PCD (PR-1)
Total Linear Footage of Roadways	7,499 L.F.
Total Lots	149 Lots
Proposed Density	1.59 Lots/Acre
80' LOTS	54 TOTAL LOTS
Minimum Area	11,200 S.F.
Setbacks	
Front	15'
Rear	10'
Side	7'
65' LOTS	95 TOTAL LOTS
Minimum Area	7,800 S.F.
Setbacks	
Front	15'
Rear	10'
Side	5'



Newcastle Development, LLC
121 Bishop Circle
Pelham, AL 35124
205.326.7406
www.newcastle-homes.com



**GRAND RIVER SOUTH
RESIDENTIAL - PHASE THREE**
A PROPOSED USS COMMUNITY
CITY OF LEEDS, AL

DRAWING ISSUE	
DESCRIPTION	DATE

DRAWING TITLE
TITLE SHEET

DRAWING NO.
C0.00

SCALE
NONE

SHEET
01 of 75

DRAWN: BDT
CHECKED: BDT
Job # **002-21**

DEMOLITION NOTES:

1. PRIOR TO ANY DEMOLITION WORK, PERIMETER EROSION CONTROL BMP'S (SUCH AS SILT FENCE, DITCH CHECKS, CONSTRUCTION EXITS, ETC.) SHALL BE INSTALLED.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL AND DISPOSAL OF ALL PAVING, PADS, UTILITIES, ETC., IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES. ALL ITEMS TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL (IF IT IS NECESSARY, TO BE CONFIRMED BY THE OWNER'S INSPECTOR) AND BROUGHT TO PROPOSED GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER SITEWORK SPECIFICATIONS.
3. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL DEBRIS FROM THE SITE IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
4. ALL EXISTING UNDERGROUND UTILITIES, SUCH AS SANITARY SEWER PIPE, WATER LINES, ELECTRICAL CABLES, ETC. SHOWN ON THE PLANS ARE NOT TO BE INTERRUPTED. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ALL UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES AT LEAST 4 WEEKS IN ADVANCE PRIOR TO DEMOLITION AND REMOVAL OF ANY UTILITY SERVICE.
5. CONTRACTOR SHALL SAWCUT EXISTING PAVEMENT AND CURB AND GUTTER AS NECESSARY TO ENSURE A SMOOTH TRANSITION AND CONTINUOUS GRADE.

EROSION AND SEDIMENT CONTROL NOTES:

1. ALL WORK ON THIS PLAN SHALL BE DONE IN STRICT ACCORDANCE WITH SITE WORK SPECIFICATIONS AND CITY OF LEEDS SITE DEVELOPMENT REGULATIONS AND THE ALABAMA HANDBOOK FOR EROSION CONTROL.
2. CONTRACTOR IS RESPONSIBLE FOR STRIPPING AND STOCKPILING OF TOPSOIL. CONTRACTOR IS ALSO RESPONSIBLE FOR SPREADING A MINIMUM 6" OF TOPSOIL ON ALL UNPAVED AREAS EXCEPT FUTURE BUILDING PADS. ALL EXCESS MATERIAL SHALL BE PROPERLY STORED ON-SITE.
3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON THE RECORDS OF THE VARIOUS UTILITY COMPANIES, AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION AND REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ANY EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
4. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES (BMPs) AS REQUIRED BY THE GOVERNING AUTHORITY. ALL BMPs SHALL BE INSTALLED AND MAINTAINED AS PER PLANS AND SPECIFICATIONS, AND MUST MEET THE REQUIREMENTS OF THE ALABAMA HANDBOOK FOR EROSION, SEDIMENT CONTROL AND STORMWATER MANAGEMENT ON CONSTRUCTION SITES AND URBAN AREAS. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS REQUIRED BY PROJECT CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
5. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, AND/OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
6. CONTRACTOR SHALL MINIMIZE CLEARING TO THE GREATEST EXTENT PRACTICAL OR AS REQUIRED BY THE CONSTRUCTION PLANS.
7. CONTRACTOR SHALL NOTE OR LOCATE ON THE PLAN THE TEMPORARY PARKING AND STORAGE AREA. THIS AREA SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING, EMPLOYEE PARKING, AND THE LOCATION FOR PORTABLE FACILITIES AND TOILET FACILITIES. THIS AREA SHALL BE COORDINATED WITH THE OWNER.
8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED BEFORE DISPOSAL.
9. SUFFICIENT OIL AND GREASE ABSORBING MATERIAL AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE AND READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL, CHEMICAL SPILLS AND LEAKS.
10. RUBBISH, TRASH, GARBAGE, LITTER, AND OTHER SUCH MATERIAL SHALL BE DEPOSITED IN SEALED CONTAINERS. MATERIAL SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO PRIVATE PONDS, DRAINAGE DITCHES OR WATERS OF THE STATE.
11. ALL STORMWATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN SHALL BE INSTALLED AS SOON AS PRACTICABLE.
12. ALL DISTURBED AREAS AND SOIL STOCKPILES THAT ARE INACTIVE FOR 14 DAYS MUST BE STABILIZED TEMPORARILY WITH FAST GERMINATING ANNUAL GRASS/GRAIN VARIETIES, STRAW/HAY MULCH, WOOD CELLULOSE FIBERS, TACKIFIER, NETTING OR BLANKETS.
13. ANY MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED BY VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS ARE PROHIBITED AND MUST BE REMOVED IMMEDIATELY.
14. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ANY SEDIMENT COLLECTED BY THE SEDIMENT CONTROL MEASURE (SILT FENCE, DITCH CHECKS, ETC.) IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
15. ON-SITE TEMPORARY SOIL STOCKPILE AREA SHALL BE PROTECTED FROM EROSION AND SEDIMENT LOSS THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES AS PER THE ALABAMA HANDBOOK FOR EROSION, SEDIMENT CONTROL AND STORMWATER MANAGEMENT ON CONSTRUCTION SITES AND URBAN AREAS..
16. ALL EROSION AND SEDIMENT CONTROL BMPS SHALL BE PROPERLY INSTALLED PRIOR TO ANY GRADING OPERATION.
17. ALL EROSION AND SEDIMENT CONTROL BMPS SHALL BE CAREFULLY REMOVED ONLY AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED WITH PERMANENT VEGETATION AND INSPECTED BY THE APPROPRIATE AUTHORITY OR AGENCY.

ASPHALT PAVING NOTES:

1. CONTRACTOR SHALL SAW CUT EXISTING PAVEMENT, CURB & GUTTER AND CONCRETE AS NECESSARY TO ENSURE A SMOOTH TRANSITION AND CONTINUOUS GRADE.
2. CRUSHED STONE BASE SHALL BE COMPACTED TO 100 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR COMPACTION TEST (ASTM 1557, METHOD D).
3. CRUSHED STONE AGGREGATE SHALL MEET OR EXCEED THE REQUIREMENTS OF SECTION 825, TYPE B IN THE STATE OF ALABAMA DEPARTMENT OF TRANSPORTATION (ALDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. BITUMINOUS BLACK BASE SHALL MEET OR EXCEED THE REQUIREMENTS OF SECTION 327 FOR PLANT MIX BITUMINOUS BASE.
4. BITUMINOUS CONCRETE BINDER COURSE SHALL MEET OR EXCEED THE REQUIREMENTS OF SECTION 424B FOR BITUMINOUS CONCRETE BINDER (MIX 1) IN THE STATE OF ALABAMA DEPARTMENT OF TRANSPORTATION (ALDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
5. THE OWNER SHALL EMPLOYEE A GEOTECHNICAL MATERIALS TESTING FIRM TO FIELD VERIFY THE SUB-GRADE MATERIAL MEETS THE REQUIREMENTS PRIOR TO INSTALLATION OF ANY BASE MATERIAL. ALL AREAS TESTED SHALL MEET OR EXCEED THE ALDOT REQUIREMENTS FOR COMPACTION AND STABILITY.

CONCRETE PAVING NOTES:

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 318-05.
2. CONTRACTOR SHALL SAW CUT EXISTING PAVEMENT, CURB & GUTTER AND CONCRETE AS NECESSARY TO ENSURE A SMOOTH TRANSITION AND CONTINUOUS GRADE.
3. MINIMUM CONCRETE DESIGN STRENGTH SHALL BE NO LESS THAN 3000 OSI @ 28 DAYS, OR AS NOTED IN THE PLANS, DETAILS AND SPECIFICATIONS, WHICHEVER IS HIGHER.
4. HEAVY DUTY CONCRETE PAVING (WHERE NOTED, SEE PLAN):
 - 4.1. CONCRETE: 6" REINFORCED CONCRETE, 3000 PSI @ 28 DAYS, TYPE 1 PER ALDOT SECTION 450-A
 - 4.2. REINFORCEMENT: #4 REBAR @ 18" O.C. EACH WAY
 - 4.3. SUBGRADE: 6" COMPACTED AGGREGATE BASE, ALDOT 825B
5. WHERE SLABS ABUT COLUMNS, WALLS, EXISTING PAVEMENTS, SLABS, OR ANY OTHER VERTICAL SURFACE, CONTRACTOR SHALL PROVIDE A PRE-MOLDED EXPANSION JOINT OR ISOLATION JOINT. THE JOINT MATERIAL MUST HAVE A HEIGHT EQUAL TO THE SLAB THICKNESS SLAB AND MUST BE PLACED AT THE TOP OF SLAB ELEVATION.
6. CONCRETE JOINT SPACING SHALL NOT EXCEED 12 FEET OR A MAXIMUM OF 24 TIMES THE CONCRETE THICKNESS, WHICHEVER IS LESS. EXPANSION JOINT SPACING SHALL NOT EXCEED 20' O.C. MAXIMUM UNLESS SPECIFIED BY THE PLANS AND DETAILS.
7. SAWCUT JOINTS SHALL BE A DEPTH OF D/4 FROM THE TOP OF SLAB, WHERE "D" IS THE THICKNESS OF THE SLAB. CUTS SHALL BE A MINIMUM 1/8" WIDE, OR AS SPECIFIED IN THESE PLANS AND DETAILS.
8. SAWCUT JOINTS SHALL BE PLACED AS SOON AS POSSIBLE AFTER CONCRETE POUR, NOT TO EXCEED 8 HOURS.
9. IF CONCRETE PLACEMENT IS STOPPED FOR 30 MINUTES OR LONGER, A CONSTRUCTION JOINT SHALL BE INSTALLED AT THE LOCATION WHERE THE IN-PLACE CONCRETE STOPS.
10. ALL CONCRETE SHALL BE MECHANICALLY VIBRATED WHEN PLACED. SLABS ON GRADE MAY BE MECHANICALLY VIBRATED ONLY AROUND EMBEDDED CONDUITS, STEEL AND OTHER STRUCTURAL ELEMENTS, EDGES, THICKENED AREAS, DOWELS, KEYS, OR CONSTRUCTION JOINTS.
11. CONTRACTOR SHALL PROVIDE A 3/8" CHAMFER FOR ALL EXPOSED CORNERS UNLESS OTHERWISE NOTED.

GRADING AND DRAINAGE NOTES:

1. CONTRACTOR SHALL HAVE BENCHMARKS RELOCATED WHEN NECESSARY BY A PLS WITH NEW BENCHMARK VERTICAL TOLERANCE WITHIN 0.010 FEET.
2. ALL EXCAVATION (BOTH ON-SITE AND OFF-SITE) SHALL BE PERFORMED AS UNCLASSIFIED EXCAVATION REGARDLESS OF DEPTH, TYPE, QUANTITY, CHARACTER, COLOR, HARD OR SOFT, AND WET OR DRY, UNLESS OTHERWISE SPECIFIED BY THE CONTRACT DOCUMENTS.
3. CONTRACTOR IS RESPONSIBLE FOR STRIPPING AND STOCKPILING ALL SUITABLE TOPSOIL ON-SITE. ALL UNSUITABLE TOPSOIL SHALL BE PROPERLY HAULED OFF-SITE AT THE CONTRACTOR'S EXPENSE.
4. CONTRACTOR IS RESPONSIBLE FOR SPREADING MINIMUM 6" OF TOPSOIL ON ALL UNPAVED AREAS.
5. ALL SPOT ELEVATIONS AND GRADES SHOWN ARE FINISHED GRADE ELEVATIONS UNLESS OTHERWISE NOTED. ALL GRADING SHALL BE PERFORMED USING CONTROL LINES AND SPOT ELEVATIONS.
6. SITE GRADING SHALL NOT BEGIN UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
7. ALL GRADE SLOPES WITHIN HANDICAP PARKING AREAS SHALL HAVE A MAXIMUM 2% SLOPE IN ANY DIRECTION.
8. ALL SIDEWALKS SHALL HAVE A MAXIMUM SLOPE OF LESS THAN 5% LONGITUDINAL AND 2% CROSS SECTIONAL, EXCEPT AT LOCATIONS WHERE THE SIDEWALK IS PART OF THE TYPICAL ROADWAY SECTION AND LOCATED ADJACENT TO THE ROADWAY, IN WHICH CASE THE LONGITUDINAL SLOPE SHALL MATCH THAT OF THE ROADWAY PROFILE GRADE.
9. ALL SIDE SLOPES SHALL BE 3 (H) TO 1 (V) OR FLATTER, UNLESS OTHERWISE NOTED ON THE PLAN.

UTILITIES NOTES:

1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY OWNERS AND DETERMINE THE EXACT LOCATION OF ANY EXISTING UTILITIES ON THIS PROJECT WHETHER SHOWN ON THE PLANS OR NOT.
2. THE UTILITY OWNER'S AND/OR CITY OF LEEDS STANDARD SPECIFICATIONS AND DETAILS SHALL GOVERN.
3. CONTRACTOR SHALL COORDINATE ANY SERVICE INTERRUPTIONS THE UTILITY PROVIDER, THE OWNER, AND IS RESPONSIBLE FOR NOTIFYING ALL AFFECTED ADJACENT PROPERTY OWNERS.
4. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE CURRENT STANDARDS, SPECIFICATIONS, AND DIRECTIVES OF OSHA AND/OR ANY OTHER AGENCY HAVING JURISDICTIONAL AUTHORITY OVER EXCAVATION AND TRENCHING PROCEDURES. THIS INCLUDES BUT IS NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA FOR OSHA.
5. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
6. EXISTING UTILITY LOCATIONS ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED AND THE LOCATION AND NUMBER PAINTED/MARKED ON THE GROUND BY THE UTILITY OR ALABAMA LINE LOCATORS.
7. ALL ELECTRIC, TELEPHONE AND GAS LINES, INCLUDING SERVICE LINES, ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS.
8. ALL ELECTRICAL SERVICE SHALL BE IN ACCORDANCE WITH CURRENT ALABAMA POWER COMPANY STANDARDS AND SPECIFICATIONS.
9. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL UTILITY INSTALLATIONS AND/OR RELOCATION WITH THE APPROPRIATE UTILITY COMPANY. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY/ALL FEES ASSOCIATED WITH THIS WORK.
10. ALL UTILITIES AND CONDUITS FOR FUTURE UTILITIES THAT ARE NOT PERMANENTLY CONNECTED TO THE BUILDING OR SYSTEM SHALL BE CAPPED APPROPRIATELY AND MARKED IF APPLICABLE.

WATER SERVICE NOTES:

1. ALL WATER LINES FOUR INCHES AND LARGER SHALL BE DUCTILE IRON PIPE, CLASS 350, CONFORMING TO ANSI A21.51, WITH 250 PSI WORKING PRESSURE. ALL FITTINGS FOUR INCHES (4") AND LARGER SHALL BE CAST IRON (PUSH-ON TYPE OR MECHANICAL JOINT) CONFORMING TO ANSI AND AWWA STANDARD SPECIFICATIONS.
2. THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES, PLUGS, AND FIRE HYDRANTS IN THE WATER MAIN SYSTEM.
3. ALL GATE VALVES SHALL BE PROVIDED WITH A ROADWAY SCREW TYPE CAST IRON VALVE BOX. BOXES FOR VALVES THREE INCHES (3") AND SMALLER SHALL HAVE ARCH BASE.
4. VALVES FOUR INCHES (4") AND LARGER SHALL BE CAST IRON WITH PARALLEL DOUBLE DISC GATE VALVES. VALVES SHALL HAVE MECHANICAL JOINT ENDS AND NON-RISING STEMS WITH SQUARE OPERATING NUT.
5. ALL FIRE HYDRANTS SHALL BE M&H OR MUELLER AND HAVE A FIVE INCH STORZ CONNECTOR AS AN INTEGRAL PART OF THE HYDRANT, PER THE WATER WORKS BOARD OF THE CITY OF LEEDS.
6. ALL WATER MAINS SHALL HAVE 36" OF COVER (MINIMUM)
7. AUTOMATIC FLUSH VALVES SHALL BE INSTALLED AT THE END OF CULDESACS OR ANY DEAD END LINE. FLUSH VALVES SHALL BE HYDRO-GUARD HG-1.
8. ALL RESIDENTIAL SERVICE LINE TAPS SHALL BE 1" REHAU (BLUE TUBING) OR (TYPE K COPPER) WITH Y CONNECTOR FOR DOMESTIC AND SPRINKLER 3/4 " TAP. TURNED-UP SERVICE STUBS SHALL BE COVERED WITH PVC PIPE AND PAINTED BLUE.
9. ALL LONG SIDE SERVICES SHALL BE INSTALLED PRIOR TO ROADWAY CONSTRUCTION AND SHALL BE IN 1-1/2" OR 2" PVC CASING.
10. THERE SHALL BE 2 METER BOXES INSTALLED FOR EACH LOT (1 FOR DOMESTIC AND 1 FOR IRRIGATION). THESE SHALL BE PURCHASED BY CONTRACTOR AND INSTALLED BY LWWB.
11. MCDONALD OR MUELLER CURB STOPS SHALL BE USED FOR CORPORATION TAPS (NO FORD).
12. 6" MUELLER OR M&H VALVES SHALL BE INSTALLED AT EACH INTERSECTION (RESILIENT SEAT), UNLESS OTHERWISE NOTED ON PLANS.
13. NO FOREIGN FITTINGS WILL BE ALLOWED.
14. ALL WATER MAINS AND RELATED APPURTENANCES SHALL BE INSTALLED PER THE WATER WORKS BOARD OF THE CITY OF LEEDS.

SEAL



Newcastle Development, LLC
 121 Bishop Circle
 Pelham, AL 35124
 205.326.7406
 www.newcastle-homes.com



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 RESIDENTIAL - PHASE THREE**
 A PROPOSED USS COMMUNITY
 CITY OF LEEDS, AL

DRAWING ISSUE

DESCRIPTION	DATE

DRAWING TITLE

PROJECT NOTES

DRAWING NO.

C0.01

SCALE

NONE

SHEET

02 of 75

DRAWN: BDT

CHECKED: BDT

Job # **002-21**

NOT FOR CONSTRUCTION
ISSUED FOR PERMITTING
DATE: JANUARY 23, 2024



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A PROPOSED USS COMMUNITY
CITY OF LEEDS, AL

DRAWING ISSUE	
DESCRIPTION	DATE

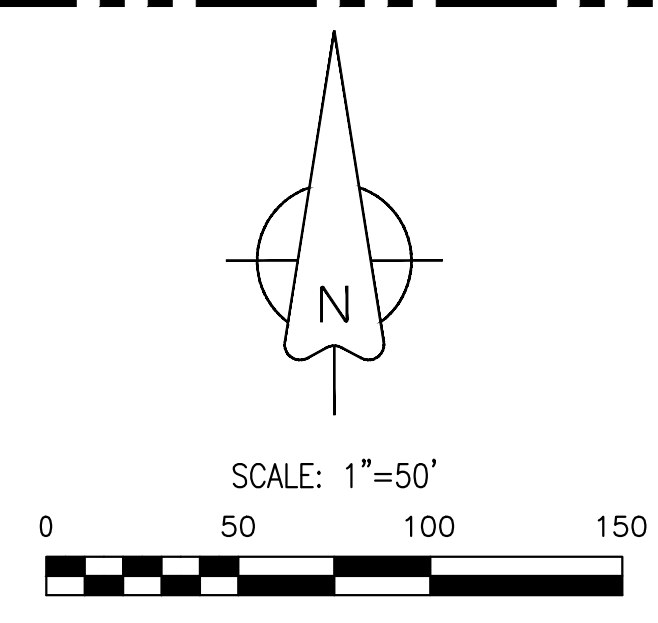
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CONDITIONS "B"**

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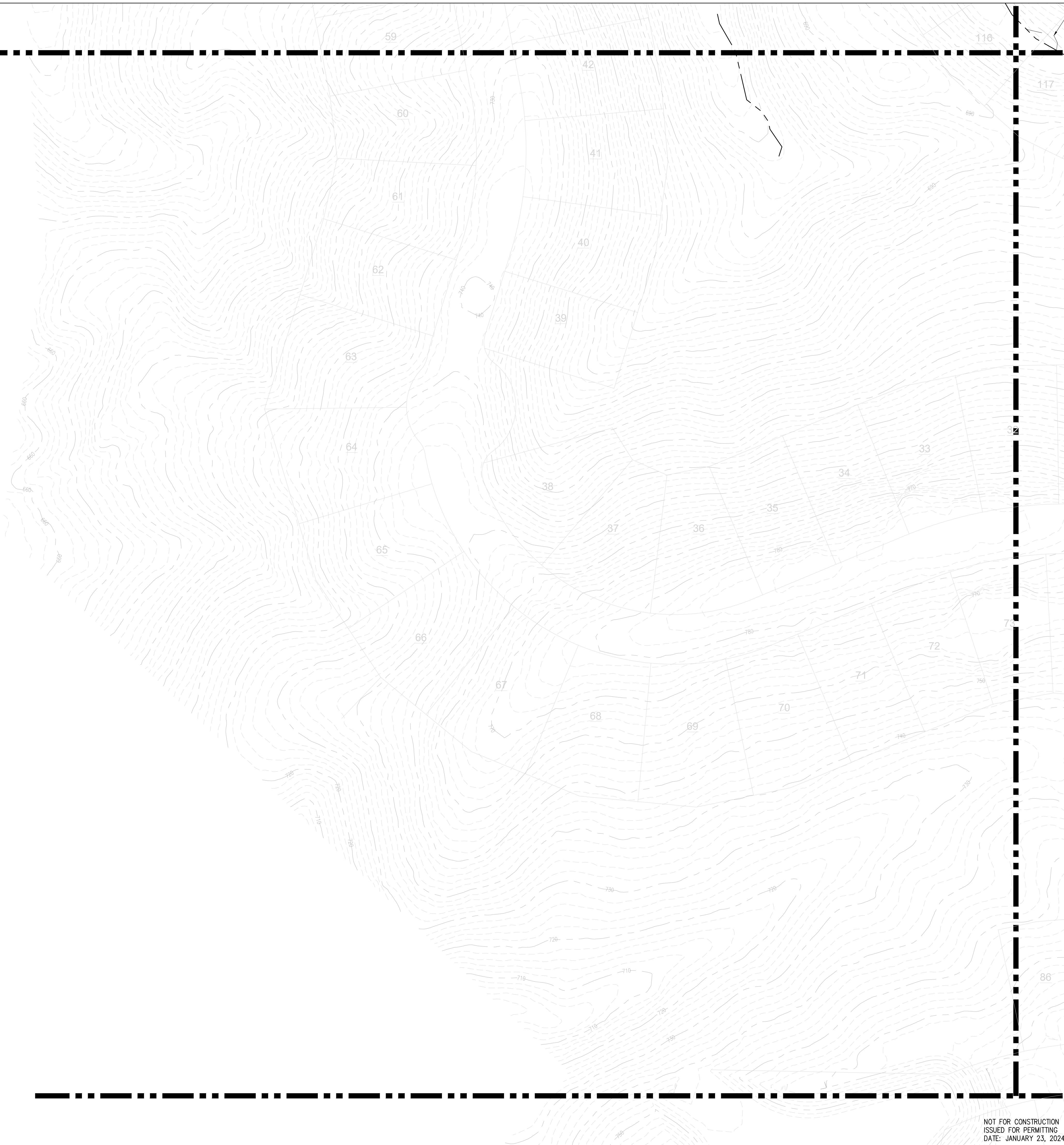
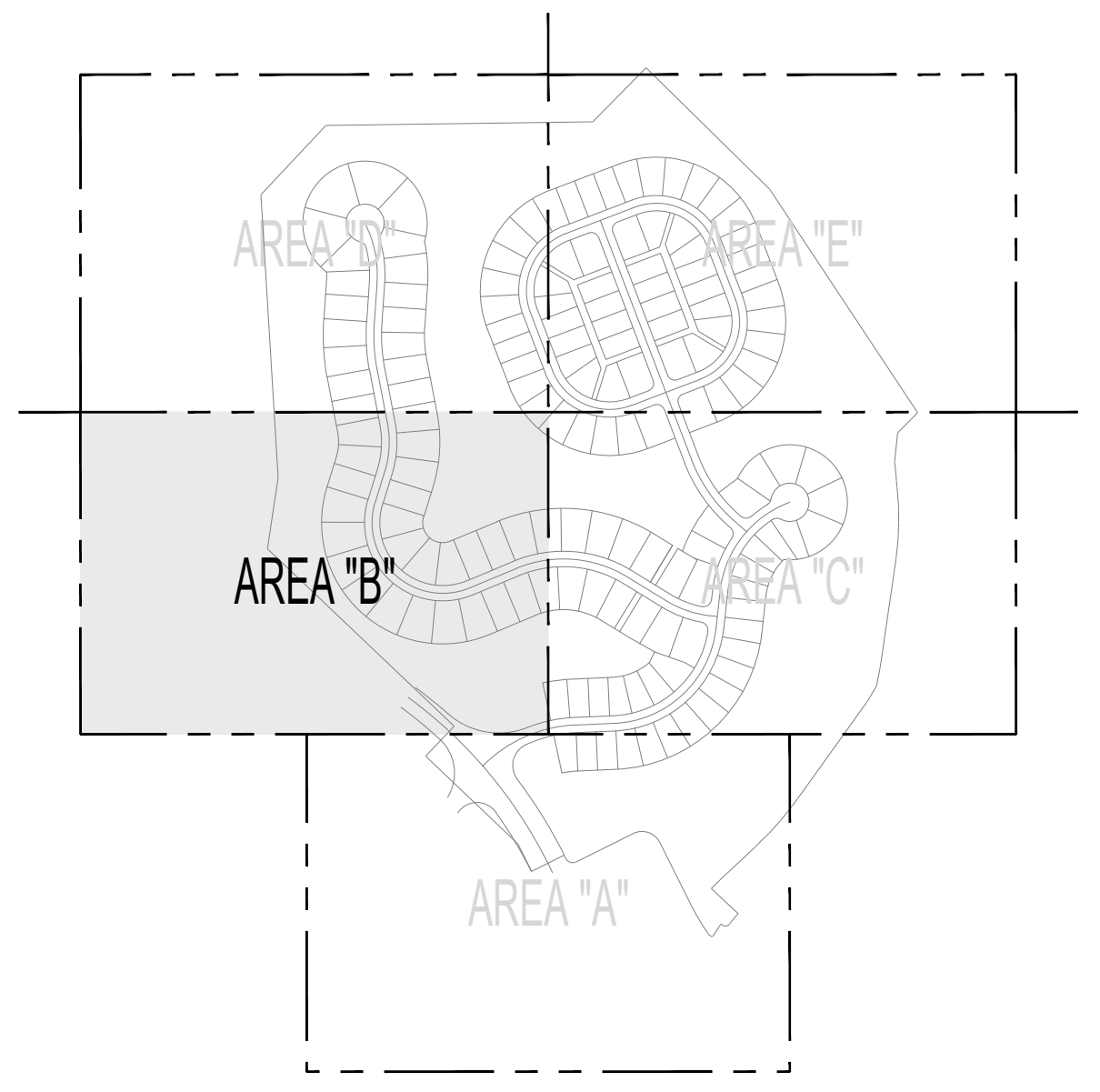
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SHEET
05 of 75

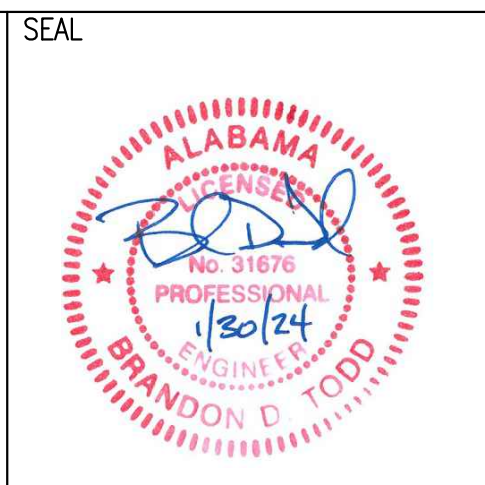
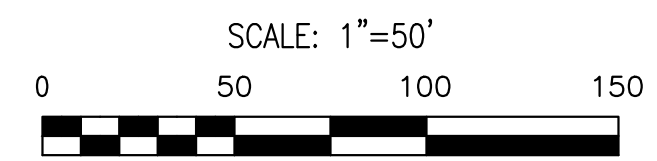
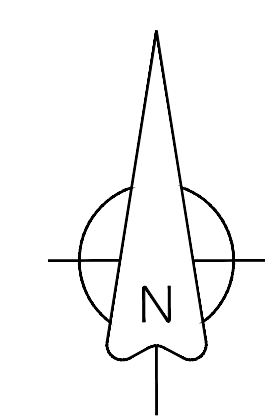
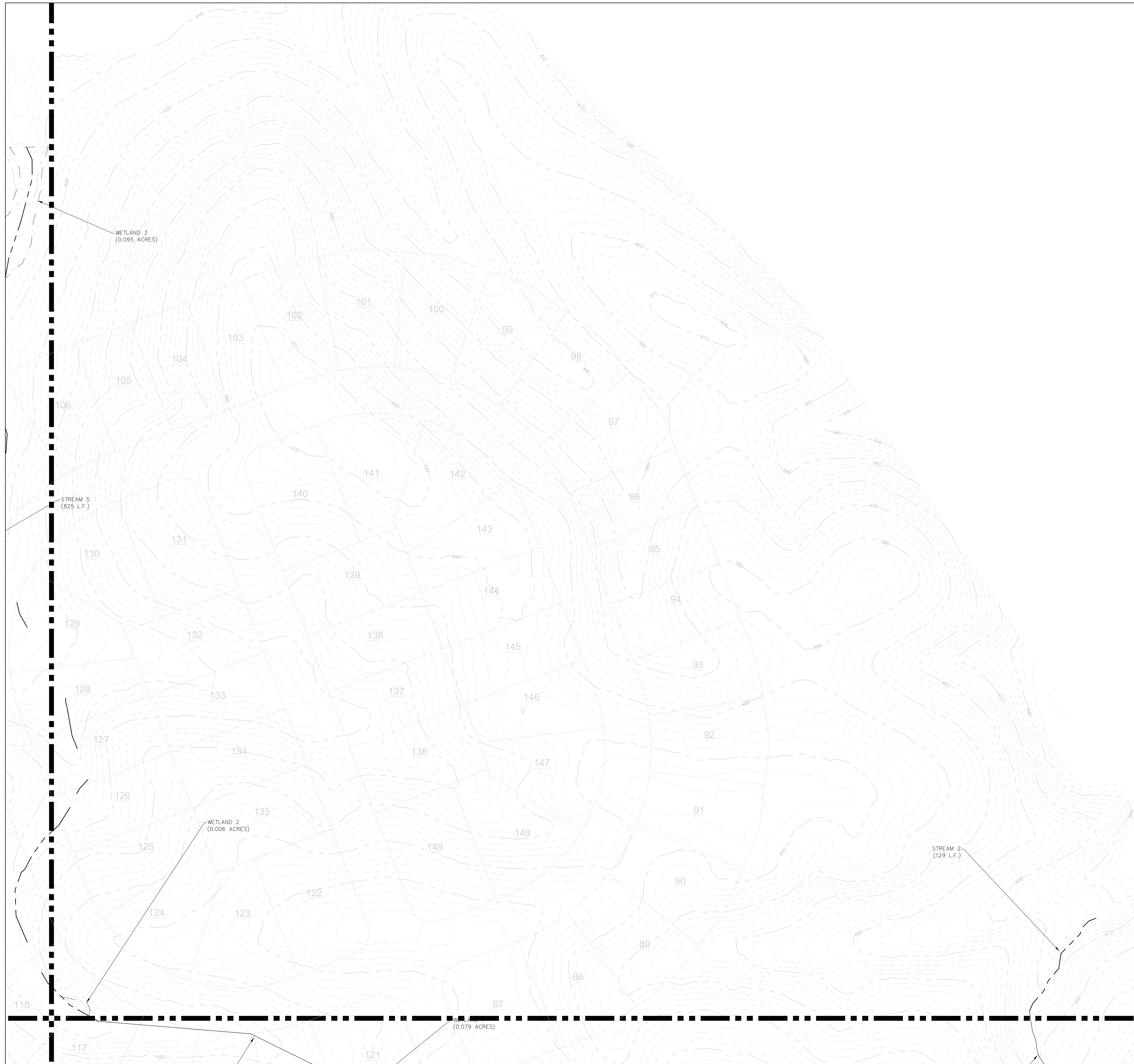
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SHEET LAYOUT



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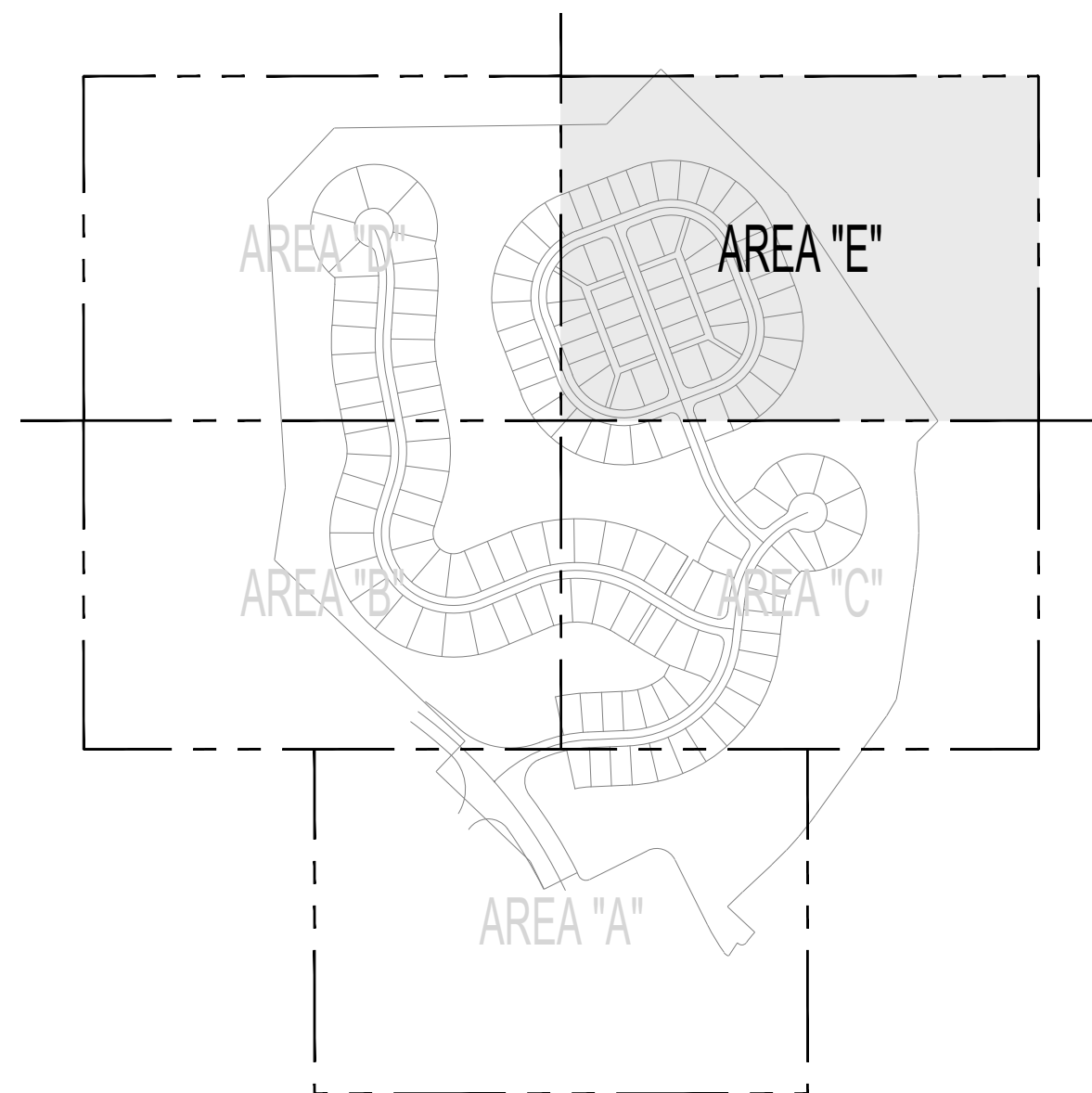


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DRAWING TITLE
**EXISTING
 CONDITIONS "E"**

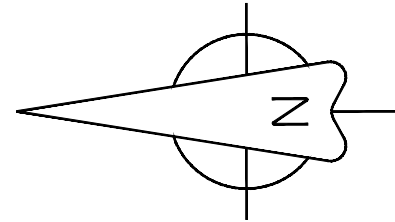
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SCALE
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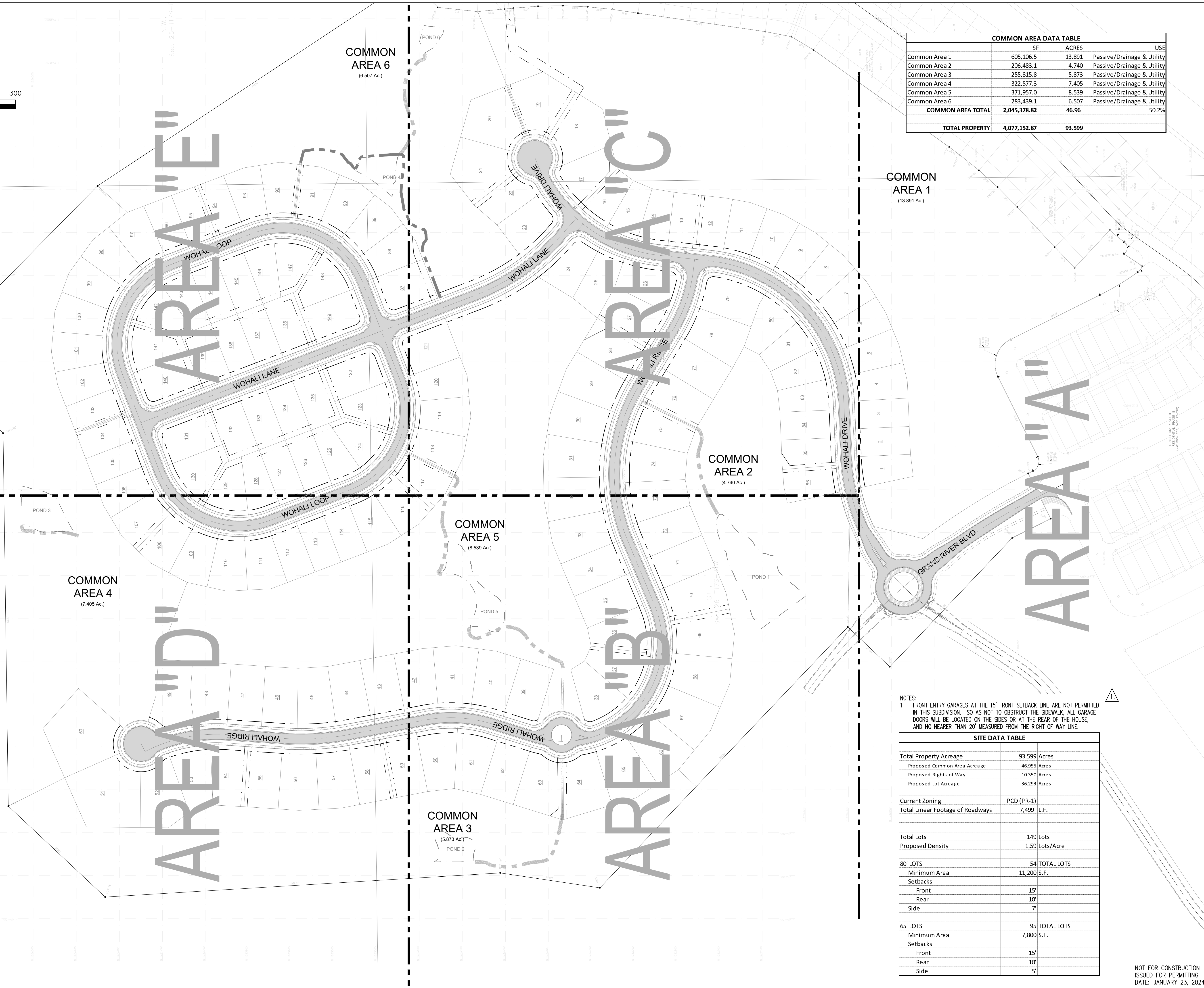
SHEET
 08 of 75

DRAWN: BDT	CHECKED: BDT
Job # 002-21	

NOT FOR CONSTRUCTION
 ISSUED FOR PERMITTING
 DATE: JANUARY 23, 2024



SCALE: 1"=100'



COMMON AREA DATA TABLE			
	SF	ACRES	USE
Common Area 1	605,106.5	13.891	Passive/Drainage & Utility
Common Area 2	206,483.1	4.740	Passive/Drainage & Utility
Common Area 3	255,815.8	5.873	Passive/Drainage & Utility
Common Area 4	322,577.3	7.405	Passive/Drainage & Utility
Common Area 5	371,957.0	8.539	Passive/Drainage & Utility
Common Area 6	283,439.1	6.507	Passive/Drainage & Utility
COMMON AREA TOTAL	2,045,378.82	46.96	50.2%
TOTAL PROPERTY	4,077,152.87	93.599	

COMMON AREA 1
(13.891 Ac.)

COMMON AREA 2
(4.740 Ac.)

COMMON AREA 5
(8.539 Ac.)

COMMON AREA 3
(6.873 Ac.)

COMMON AREA 4
(7.405 Ac.)

COMMON AREA 6
(6.507 Ac.)

NOTES:

1. FRONT ENTRY GARAGES AT THE 15' FRONT SETBACK LINE ARE NOT PERMITTED IN THIS SUBDIVISION. SO AS NOT TO OBSTRUCT THE SIDEWALK, ALL GARAGE DOORS WILL BE LOCATED ON THE SIDES OR AT THE REAR OF THE HOUSE, AND NO NEARER THAN 20' MEASURED FROM THE RIGHT OF WAY LINE.

SITE DATA TABLE	
Total Property Acreage	93.599 Acres
Proposed Common Area Acreage	46.955 Acres
Proposed Rights of Way	10,350 Acres
Proposed Lot Acreage	36,293 Acres
Current Zoning	PCD (PR-1)
Total Linear Footage of Roadways	7,499 L.F.
Total Lots	149 Lots
Proposed Density	1.59 Lots/Acre
80' LOTS	54 TOTAL LOTS
Minimum Area	11,200 S.F.
Setbacks	
Front	15'
Rear	10'
Side	7'
65' LOTS	95 TOTAL LOTS
Minimum Area	7,800 S.F.
Setbacks	
Front	15'
Rear	10'
Side	5'



Newcastle Development, LLC
 121 Bishop Circle
 Pelham, AL 35124
 205.326.7406
 www.newcastle-homes.com



GRAND RIVER SOUTH RESIDENTIAL - PHASE THREE

A PROPOSED USS COMMUNITY
CITY OF LEEDS, AL

DRAWING ISSUE	
DESCRIPTION	DATE
01. GARAGE SETBACK NOTE	2/16/2024

DRAWING TITLE
OVERALL PLAT LAYOUT

DRAWING NO.
C2.00

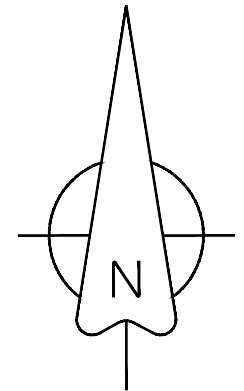
SCALE
1" = 100'

SHEET
09 of 75

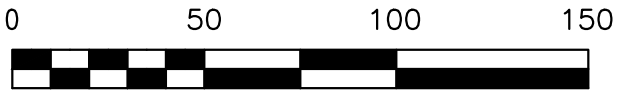
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NOT FOR CONSTRUCTION
ISSUED FOR PERMITTING
DATE: JANUARY 23, 2024

Job # 002-21



SCALE: 1"=50'



CURVE TABLE

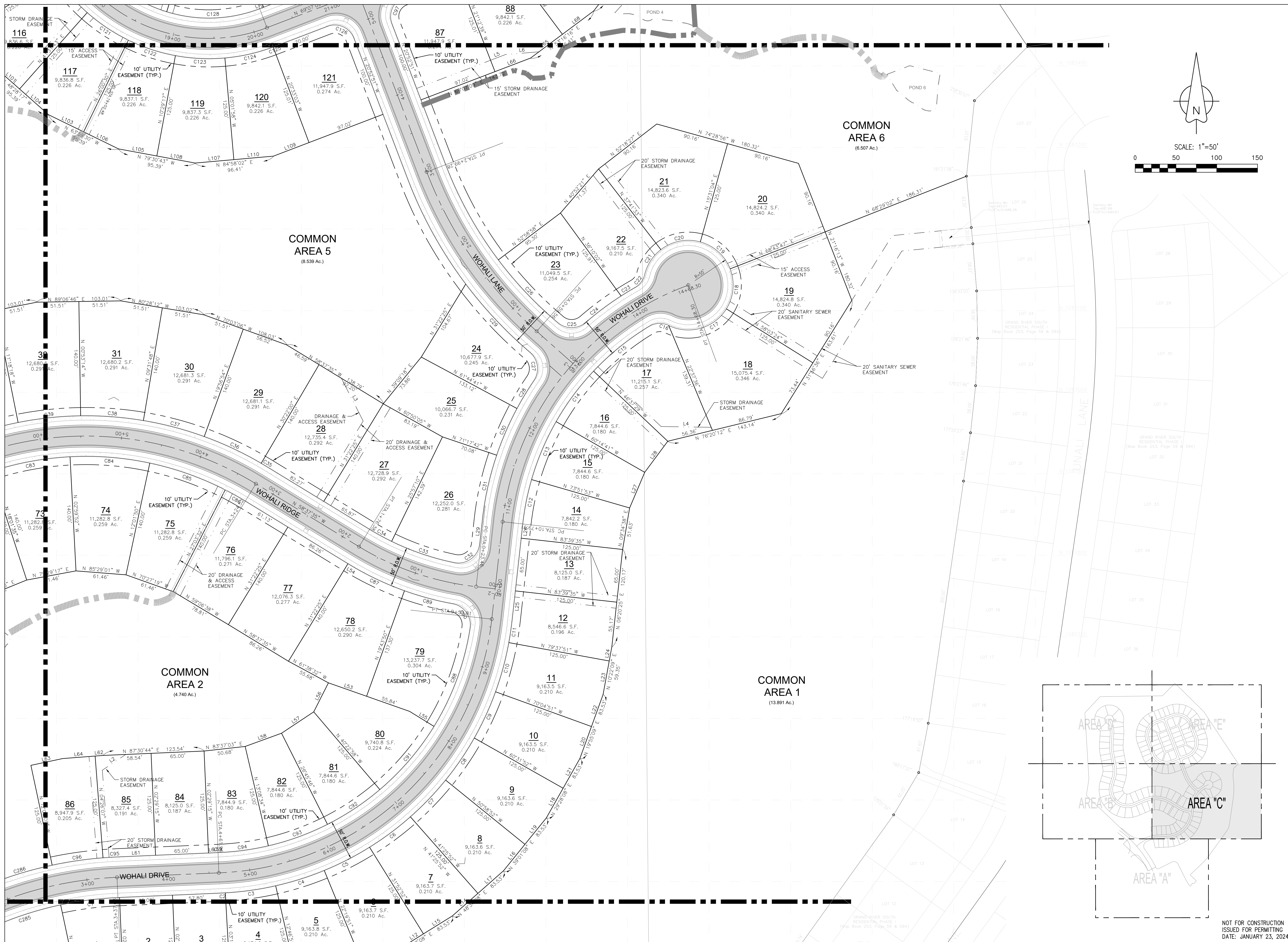
CURVE	RADIUS	ARC LENGTH	CHORD	CHORD BEARING	DELTA ANGLE
C1	425.00	70.82	70.74	N 82°44'17" E	9°32'53"
C2	375.00	7.01	7.00	N 87°18'14" E	1°04'13"
C3	375.00	62.50	62.43	N 81°59'38" E	9°32'58"
C4	375.00	62.51	62.43	N 72°26'39" E	9°33'01"
C5	375.00	62.51	62.43	N 62°53'39" E	9°33'00"
C6	375.00	62.50	62.43	N 53°20'38" E	9°33'00"
C7	375.00	62.50	62.43	N 43°47'38" E	9°33'00"
C8	375.00	62.50	62.43	N 34°14'38" E	9°33'00"
C9	375.00	62.50	62.43	N 24°41'39" E	9°33'00"
C10	375.00	62.50	62.43	N 15°08'39" E	9°32'59"
C11	375.00	26.37	26.36	N 08°21'17" E	4°01'45"
C12	325.00	55.56	55.49	N 11°14'16" E	9°47'42"
C13	325.00	77.26	77.08	N 22°56'43" E	13°37'12"
C14	325.00	77.26	77.08	N 36°33'55" E	13°37'12"
C15	325.00	87.84	87.57	N 51°07'04" E	19°29'07"
C16	25.00	24.90	23.88	N 87°23'27" E	5°70'39"
C17	55.00	80.61	73.59	N 73°55'56" E	8°35'40"
C18	55.00	51.08	49.27	N 05°20'12" E	5°31'24"
C19	55.00	51.08	49.26	N 47°52'34" E	5°31'24"
C20	55.00	51.08	49.26	N 78°54'46" E	5°31'23"
C21	55.00	37.10	36.40	N 32°58'53" E	3°38'39"
C22	25.00	20.37	19.81	N 37°00'02" E	4°64'12"
C23	375.00	19.97	19.97	N 58°49'12" E	3°03'07"
C24	375.00	54.43	54.38	N 53°08'10" E	8°18'57"
C25	26.00	36.83	33.83	N 89°33'31" E	6°10'39"
C26	475.00	106.48	106.26	N 43°26'22" E	12°21'53"
C27	26.00	38.09	34.77	N 07°36'31" W	8°35'58"
C28	375.00	39.96	39.94	N 31°18'29" E	6°06'18"
C29	525.00	115.34	115.11	N 43°17'03" W	12°35'15"
C30	375.00	62.51	62.44	N 23°28'49" E	9°33'02"
C31	375.00	80.93	80.77	N 12°31'21" E	12°21'53"
C32	26.00	43.24	38.43	N 53°58'57" E	9°51'04"
C33	325.00	81.27	81.06	N 71°12'41" W	14°19'42"
C34	325.00	30.75	30.74	N 61°20'12" W	5°25'15"
C35	425.00	74.27	74.17	N 59°07'48" W	10°02'25"
C36	425.00	77.28	77.17	N 64°50'33" W	10°25'05"
C37	425.00	77.28	77.17	N 75°15'39" W	10°25'06"
C38	425.00	77.27	77.17	N 85°40'43" W	10°25'03"
C39	425.00	77.27	77.17	N 83°54'14" E	10°25'03"
C40	425.00	77.28	77.17	N 73°29'10" E	10°25'04"
C41	425.00	66.85	66.85	N 67°49'45" E	10°53'46"
C42	205.00	105.54	104.38	N 82°07'44" E	29°29'51"
C43	205.00	121.48	119.71	N 66°08'45" W	33°57'11"
C44	205.00	103.83	102.72	N 34°39'34" W	29°01'11"
C45	26.00	18.71	18.31	N 00°28'09" E	4°11'40"
C46	26.00	13.73	13.57	N 02°06'02" E	3°01'50"
C47	350.00	58.16	58.10	N 12°28'16" E	9°31'17"
C48	350.00	76.72	76.56	N 01°25'54" E	12°33'31"
C49	350.00	36.47	36.45	N 07°49'58" W	5°58'13"
C50	350.00	26.76	26.76	N 09°29'04" W	2°40'01"
C51	575.00	91.09	90.99	N 03°36'46" W	9°04'36"
C52	575.00	29.76	29.75	N 02°24'47" W	2°53'33"
C53	387.96	0.98	0.98	N 03°49'04" E	0°08'43"
C54	387.96	77.03	76.90	N 01°56'33" W	11°22'32"
C55	387.96	59.91	59.85	N 12°03'15" W	8°50'51"
C56	26.00	28.23	26.86	N 14°37'39" E	6°21'39"
C57	55.00	27.50	27.21	N 31°24'40" E	2°38'37"
C58	55.00	62.86	59.50	N 81°08'08" W	6°52'07"
C59	55.00	62.86	59.50	N 33°22'38" E	6°52'07"
C60	55.00	51.45	49.60	N 26°10'01" E	5°33'58"
C61	26.00	14.60	14.41	N 36°52'53" W	3°21'04"
C62	337.96	8.72	8.72	N 20°03'26" E	1°28'41"
C63	337.96	100.37	100.00	N 10°48'36" W	17°00'59"
C64	337.96	36.52	36.51	N 00°47'40" E	6°11'32"
C65	625.00	76.35	76.31	N 00°23'26" E	6°59'59"
C66	625.00	78.13	78.08	N 06°41'26" W	7°09'44"
C67	625.00	5.96	5.96	N 10°32'41" W	0°32'26"
C68	300.00	72.31	72.31	N 03°54'47" W	13°48'34"
C69	300.00	74.57	74.37	N 10°06'44" E	14°14'27"
C70	26.00	13.76	13.60	N 27°17'10" E	3°01'58"
C71	55.00	41.43	40.46	N 20°51'43" E	4°30'51"

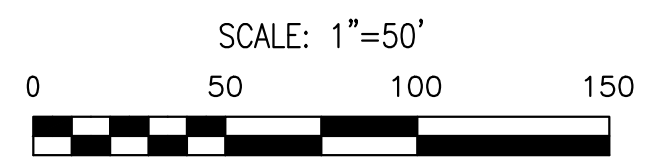
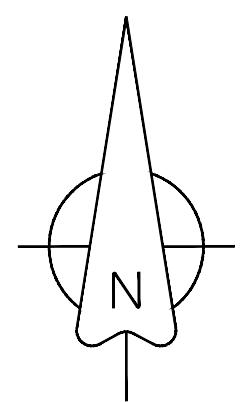
CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD	CHORD BEARING	DELTA ANGLE
C72	255.00	22.72	22.71	N 14°40'50" E	5°06'19"
C73	255.00	30.76	30.75	N 13°15'13" W	6°54'45"
C74	255.00	37.81	37.07	N 20°25'00" W	39°23'26"
C75	26.00	13.76	13.60	N 24°57'19" W	3°01'58"
C76	255.00	75.56	75.28	N 25°11'55" W	16°58'40"
C77	255.00	75.56	75.29	N 42°10'35" W	16°58'41"
C78	255.00	75.56	75.29	N 59°09'17" W	16°58'43"
C79	255.00	75.56	75.28	N 76°07'57" W	16°58'37"
C80	255.00	75.56	75.28	N 86°53'26" E	16°58'38"
C81	255.00	49.05	48.98	N 72°53'28" E	11°01'18"
C82	375.00	30.06	30.05	N 69°40'39" E	4°35'34"
C83	375.00	98.36	98.08	N 79°29'17" E	15°01'42"
C84	375.00	98.36	98.08	N 85°29'01" W	15°01'42"
C85	375.00	98.36	98.08	N 70°27'19" W	15°01'42"
C86	375.00	28.24	28.23	N 60°47'01" W	4°18'53"
C87	375.00	76.20	76.07	N 64°26'52" W	11°38'35"
C88	325.00	129.36	128.51	N 20°09'36" E	22°48'20"
C89	375.00	61.62	61.55	N 74°58'36" W	9°24'53"
C90	26.00	40.13	36.27	N 35°27'48" W	8°26'28"
C91	325.00	102.41	101.99	N 46°25'24" E	18°03'16"
C92	325.00	77.26	77.08	N 56°25'38" E	13°37'12"
C93	325.00	77.26	77.08	N 70°02'50" E	13°37'12"
C94	325.00	62.29	62.20	N 82°20'53" E	10°58'54"
C95	475.00	16.15	16.14	N 86°32'18" E	1°56'51"
C96	475.00	63.01	63.00	N 81°45'02" E	7°36'02"
C97	25.00	39.27	35.36	N 24°07'09" E	9°00'00"
C98	225.00	1.30	1.30	N 68°57'15" E	0°19'48"
C99	225.00	60.94	60.75	N 61°01'48" E	15°31'04"
C100	225.00	60.95	60.76	N 45°30'39" E	15°31'15"
C101	225.00	60.95	60.76	N 29°59'25" E	15°31'12"
C102	225.00	60.95	60.76	N 14°28'12" E	15°31'12"
C103	225.00	60.95	60.76	N 01°03'00" W	15°31'11"
C104	225.00	47.40	47.31	N 14°50'43" W	12°04'15"
C105	225.00	8.86	8.86	N 22°00'32" W	2°15'22"
C106	225.00	60.95	60.76	N 30°53'49" W	15°31'13"
C107	225.00	60.95	60.76	N 46°25'02" W	15°31'12"
C108	225.00	60.95	60.76	N 61°56'13" W	15°31'10"
C109	225.00	60.94	60.76	N 77°27'23" W	15°31'09"
C110	225.00	60.94	60.76	N 87°01'29" W	15°31'08"
C111	225.00	39.84	39.79	N 74°11'32" E	10°08'46"
C112	225.00	39.84	39.79	N 64°02'46" E	10°08'46"
C113	225.00	60.94	60.76	N 51°12'49" E	15°31'08"
C114	225.00	60.94	60.76	N 35°41'41" E	15°31'09"
C115	225.00	60.95	60.76	N 20°10'31" E	15°31'10"
C116	225.00	60.95	60.76	N 04°39'20" E	15°31'12"
C117	225.00	60.95	60.76	N 10°51'53" W	15°31'13"
C118	225.00	8.86	8.86	N 19°45'10" W	2°15'22"
C119	225.00	47.40	47.31	N 26°54'59" W	12°04'15"
C120	225.00	60.95	60.76	N 40°42'42" W	15°31'11"
C121	225.00	60.95	60.76	N 56°13'54" W	15°31'12"
C122	225.00	60.95	60.76	N 71°45'07" W	15°31'14"
C123	225.00	60.95	60.76	N 87°16'21" W	15°31'15"
C124	225.00	60.94	60.75	N 77°12'30" E	15°31'04"
C125	225.00	1.30	1.30	N 69°17'03" E	0°19'48"
C126	25.00	39.27	35.36	N 65°52'51" W	9°00'00"
C127	25.00	39.27	35.36	N 24°07'09" E	9°00'00"
C128	175.00	116.13	114.01	N 88°07'50" E	38°01'22"
C129	175.00	116.13	114.01	N 53°50'49" W	38°01'22"
C130	175.00	42.62	42.52	N 27°51'29" W	13°57'17"
C131	175.00	42.62	42.52	N 13°54'13" W	13°57'17"
C132	175.00	116.13	114.01	N 12°05'07" E	38°01'22"
C133	175.00	116.13	114.01	N 50°06'28" E	38°01'22"
C134	25.00	39.27	35.36	N 65°52'51" W	9°00'00"
C135	25.00	39.27	35.36	N 24°07'09" E	9°00'00"
C136	175.00	116.13	114.01	N 88°07'50" E	38°01'22"
C137	175.00	116.13	114.01	N 53°50'49" W	38°01'22"
C138	175.00	42.62	42.52	N 27°51'29" W	13°57'17"
C139	175.00	42.62	42.52	N 13°54'13" W	13°57'17"
C140	175.00	116.13	114.01	N 12°05'07" E	38°01'22"
C141	175.00	116.13	114.01	N 50°06'28" E	38°01'22"
C142	25.00	39.27	35.36	N 65°52'51" W	9°00'00"

LINE TABLE

LINE	BEARING	DISTANCE
L1	N 38°49'19" W	25.15
L2	N 56°09'15" E	34.64
L3	N 26°59'58" W	58.88
L4	N 89°05'39" W	61.38
L5	N 69°07'09" E	19.64
L6	N 85°22'30" E	41.10
L7	N 87°30'44" E	1.99
L8	N 77°13'09" E	45.00
L9	N 87°30'44" E	38.58
L10	N 67°40'09" E	41.77
L11	N 77°13'09" E	41.77
L12	N 58°07'08" E	41.77
L13	N 67°40'09" E	41.77
L14	N 48°34'08" E	41.77
L15	N 58°07'09" E	41.77
L16	N 39°01'08" E	41.77
L17	N 48°34'08" E	41.77
L18	N 29°28'08" E	41.77
L19	N 39°01'08" E	41.77
L20	N 19°55'09" E	41.77
L21	N 29°28'08" E	41.77
L22	N 19°55'09" E	41.77
L23	N 10°22'09" E	41.77
L24	N 10°22'09" E	37.59
L25	N 06°20'25" E	17.52
L26	N 06°20'25" E	17.52
L27	N 22°56'43" E	47.43
L28	N 36°33'55" E	47.43
L29	N 06°20'25" E	30.41
L30	N 68°16'38" E	4.42
L31	N 20°08'59" W	0.00
L32	N 20°08'59" W	0.00
L33	N 78°35'35" E	43.33
L34	N 66°08'44" W	37.96
L35	N 20°08'59" W	0.00
L36	N 20°08'59" W	0.00
L37	N 20°08'59" W	0.00
L38	N 20°08'59" W	0.00
L39	N 32°11'35" W	37.96
L40	N 17°13'57" E	19.34
L41	N 07°42'40" E	40.81
L42	N 04°02'46" E	10°08'46"
L43	N 10°49'04" W	41.97





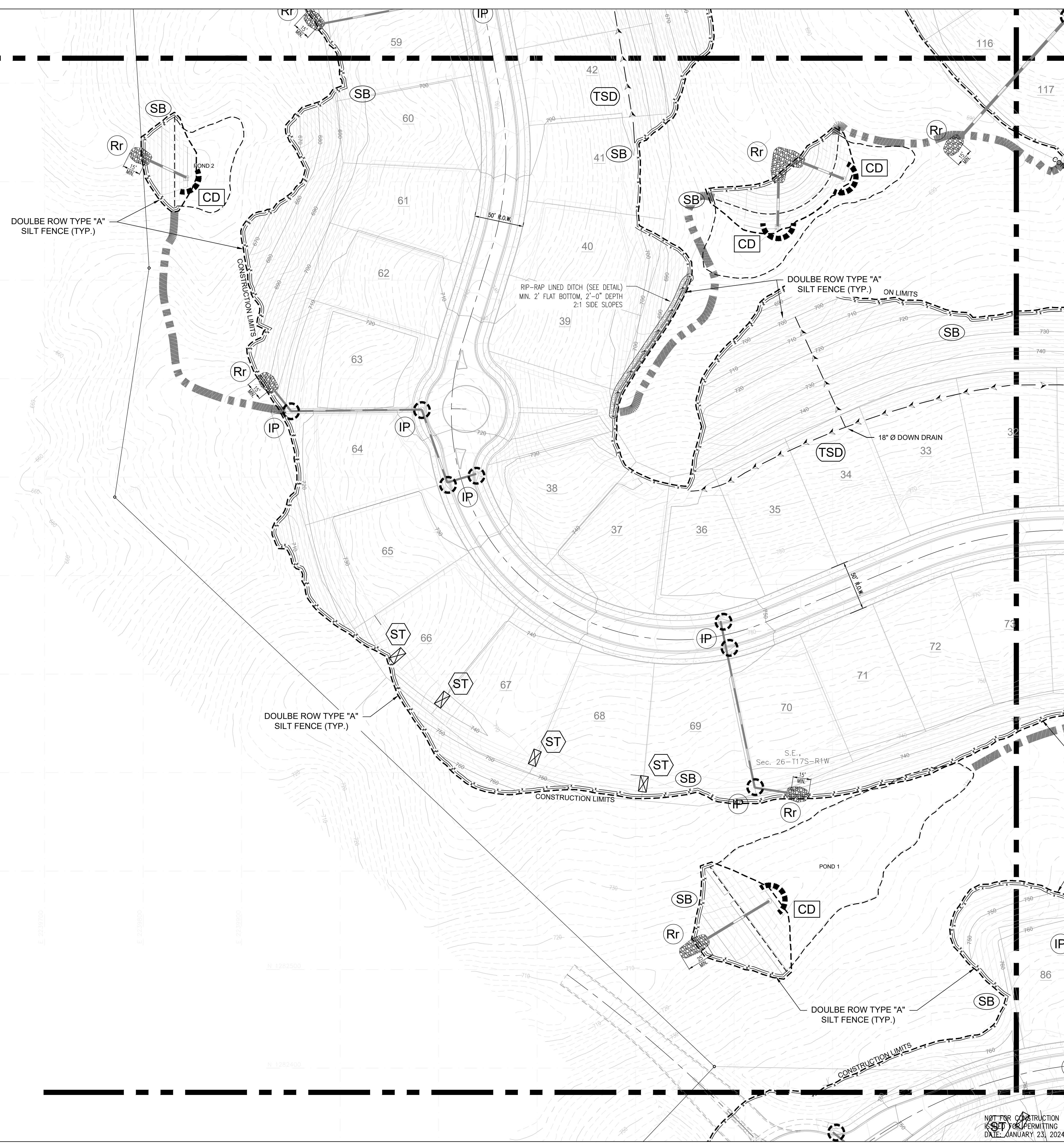
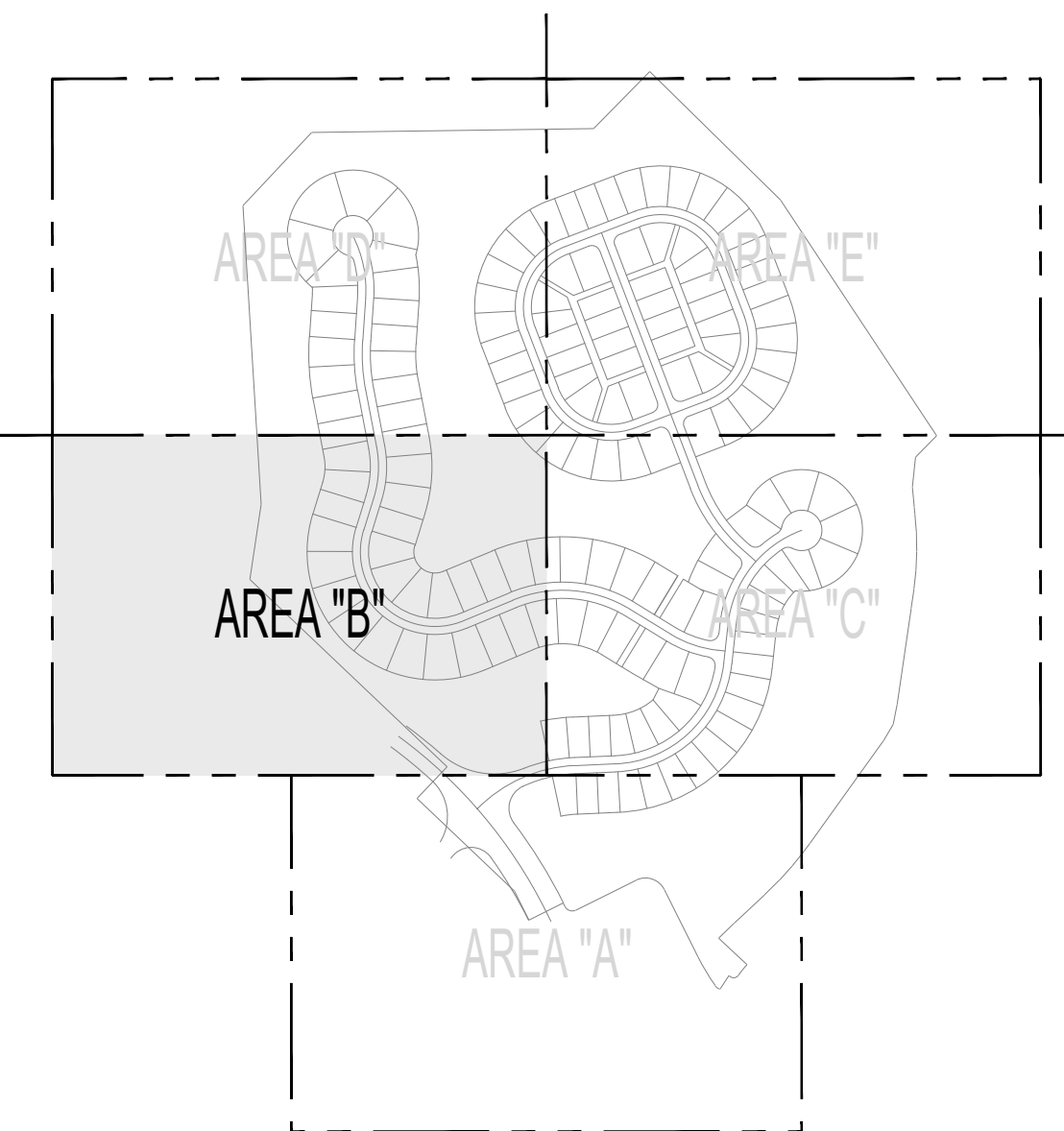
EROSION CONTROL LEGEND

	IP	INLET PROTECTION		CONSTRUCTION EXIT PAD (SEE DETAILS)
	CD	CHECK DAM		WATER MANAGEMENT UNIT (SEE DETAILS)
	Rr	RIP-RAP STILLING BASIN		SEDIMENT BASIN (SEE DETAILS)
	SB	SILT FENCE SEDIMENT BARRIER		BERMUDA SODDING
	CF	ORANGE CONSTRUCTION FENCE BARRIER		RIPRAP-LINED SWALE
	DV	DIVERSION		TEMPORARY SLOPE DRAIN
	RD	ROCK FILTER DAM		ROLLED EROSION CONTROL BLANKET
	BFB	BRUSH FABRIC BARRIER		TEMPORARY/PERMANENT SEEDING
	ST	STRAW BALE SEDIMENT TRAP		

EROSION CONTROL SEQUENCING PLAN

- DISTURBANCE FROM CLEARING AND GRUBBING WILL BE LIMITED TO AREAS OF THE SITE AS DENOTED BY THE CLEARING/CONSTRUCTION LIMITS SHOWN ON THE PLANS. CLEARING LIMITS SHALL BE FLAGGED AND SILT FENCE INSTALLED TO PROTECT AREAS THAT SHOULD NOT BE DISTURBED. EROSION AND SEDIMENT CONTROL BMPS/DEVICES SHALL BE INSTALLED AS REQUIRED DURING THE PROGRESSION OF CLEARING ACTIVITIES.
- PHASE I**
1. INSTALL STABILIZED CONSTRUCTION EXIT, AND NPDES / CBMP INFORMATION SIGN;
 2. PREPARE TEMPORARY PARKING, STORAGE AND STAGING AREAS;
 3. INSTALL REQUIRED SILT FENCE ALONG THE PERIMETER OF THE SITE;
 4. CLEAR AND GRUB THE CONSTRUCTION AREAS;
 5. CONSTRUCT TEMPORARY SEDIMENT BASINS.
- PHASE II**
1. CONSTRUCT DETENTION PONDS. PROVIDE REQUIRED MAINTENANCE OF TEMPORARY SEDIMENT BASINS;
 2. INSTALL SKIMMER, POROUS BAFFLES AND ROCK PIPE INLET PROTECTION INSIDE SEDIMENT BASINS BEFORE OUTLET PIPES/STRUCTURES;
 3. INSTALL SILT FENCE AT TEMPORARY STOCKPILE AREA;
 4. ROUGH GRADE THE SITE;
 5. INSTALL CONCRETE WASHOUT;
 6. INSTALL WATTLE DITCH CHECKS, CHECK DAMS, SEEDING, AND OTHER TEMPORARY MEASURES REQUIRED BY THE PLANS;
- PHASE III**
1. MAINTAIN ALL VEGETATED AREAS TO MEET THE FINAL STABILIZATION REQUIREMENTS OF THE NPDES GENERAL PERMIT;
 2. REMOVE THE SKIMMER FROM THE OUTLET STRUCTURE AND POROUS BAFFLES WITHIN DETENTION PONDS (DETENTION PONDS TO REMAIN);
 3. REMOVE ALL OTHER TEMPORARY BMPS;
 4. CONTINUE DAILY INSPECTION UNTIL NOTICE OF TERMINATION IS APPROVED BY ADEM.
- THE ACTUAL SEQUENCING OF THESE BMPS SHOWN WITHIN THE EROSION CONTROL PLAN ATTACHED TO THIS CBMP SHALL BE COORDINATED BETWEEN THE CONTRACTOR, THE OWNER AND OSP AND WILL BE ADJUSTED ON AN AS-NEEDED BASIS ACCORDING TO SITE SPECIFIC NEEDS AND ACTUAL CONSTRUCTION SEQUENCING AND ACTIVITIES.
7. BRING ROUGH GRADING AREA TO SUBGRADE;
 8. IMMEDIATELY SEED AND MULCH ALL UNPAVED AREAS;
 9. INSTALL STORM DRAIN SYSTEMS. PROPERLY GROUT PIPE CONNECTIONS TO STRUCTURES AND PRECAST HEADWALLS BEFORE BACKFILL;
 10. INSTALL INLET PROTECTION BMP AT EACH INLET STRUCTURE;
 11. INSTALL UNDERGROUND UTILITIES;
 12. INSTALL ROAD BASE COURSE MATERIAL;
 13. INSTALL FINAL PAVEMENT;
 14. PERMANENTLY STABILIZE AREAS TO BE VEGETATED WITH SEEDING, MULCHING AND/OR EROSION CONTROL BLANKET AS FINAL GRADE IS ESTABLISHED;

SHEET LAYOUT



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 205.326.7406
 www.newcastle-homes.com

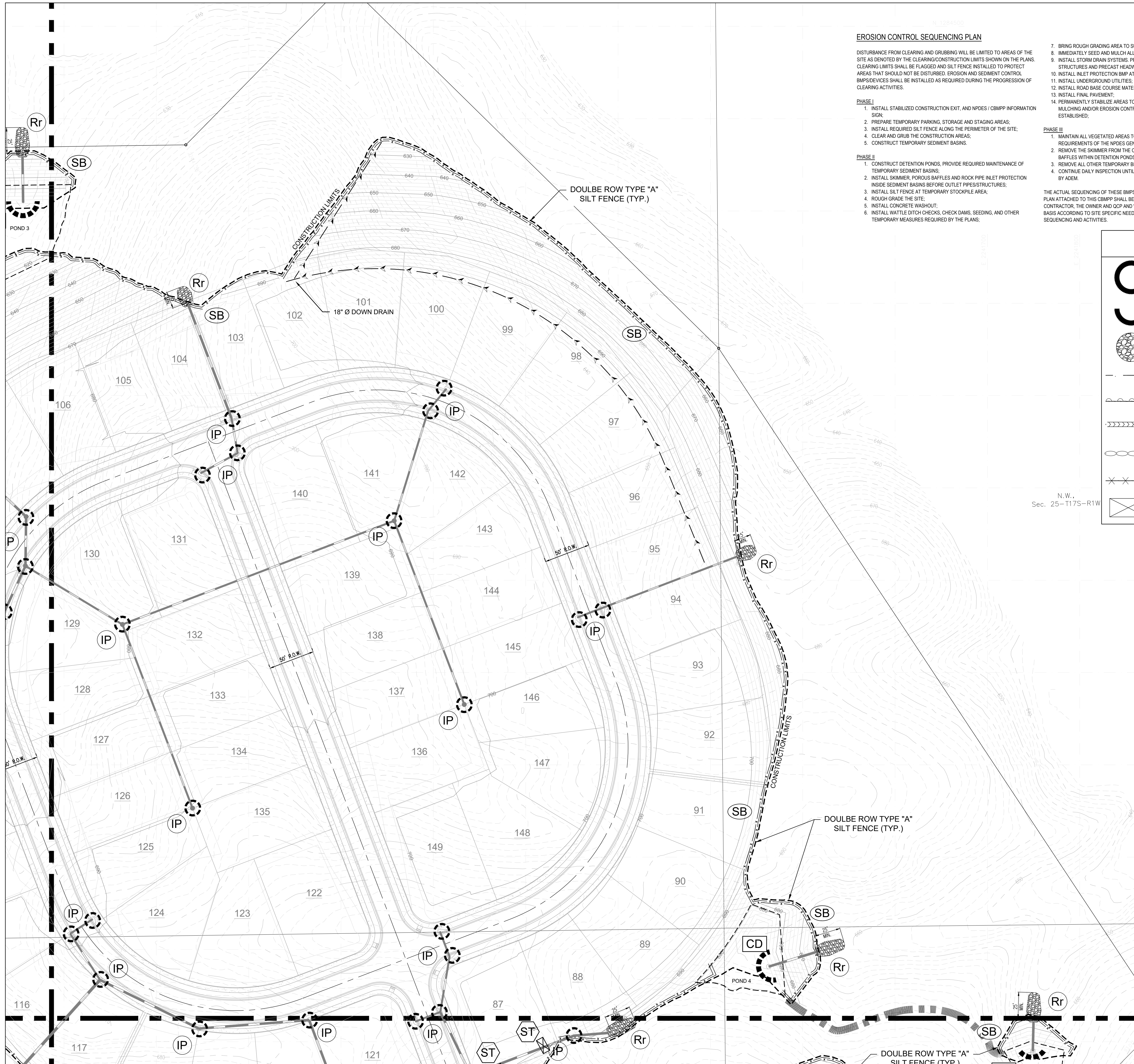


GRAND RIVER SOUTH RESIDENTIAL - PHASE THREE

A PROPOSED USS COMMUNITY
 CITY OF LEEDS, AL

DRAWING ISSUE	
DESCRIPTION	DATE
DRAWING TITLE	
INTERMEDIATE E&S PLAN "B"	
DRAWING NO.	
C3.08	
SCALE	
1" = 50'	
SHEET	
23 of 75	
DRAWN:	CHECKED:
BDT	BDT
DATE: JANUARY 23, 2024	
Job # 002-21	

NOT FOR CONSTRUCTION
 USE FOR PERMITTING
 DATE: JANUARY 23, 2024



EROSION CONTROL SEQUENCING PLAN

DISTURBANCE FROM CLEARING AND GRUBBING WILL BE LIMITED TO AREAS OF THE SITE AS DENOTED BY THE CLEARING/CONSTRUCTION LIMITS SHOWN ON THE PLANS. CLEARING LIMITS SHALL BE FLAGGED AND SILT FENCE INSTALLED TO PROTECT AREAS THAT SHOULD NOT BE DISTURBED. EROSION AND SEDIMENT CONTROL BMPS/DEVICES SHALL BE INSTALLED AS REQUIRED DURING THE PROGRESSION OF CLEARING ACTIVITIES.

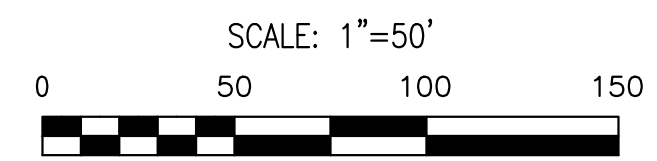
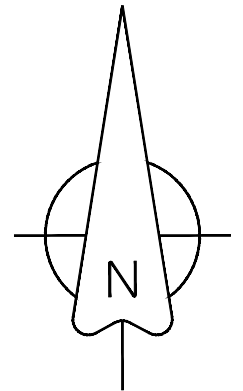
- PHASE I**
1. INSTALL STABILIZED CONSTRUCTION EXIT, AND NPDES / CBMP INFORMATION SIGN;
 2. PREPARE TEMPORARY PARKING, STORAGE AND STAGING AREAS;
 3. INSTALL REQUIRED SILT FENCE ALONG THE PERIMETER OF THE SITE;
 4. CLEAR AND GRUB THE CONSTRUCTION AREAS;
 5. CONSTRUCT TEMPORARY SEDIMENT BASINS.

- PHASE II**
1. CONSTRUCT DETENTION PONDS, PROVIDE REQUIRED MAINTENANCE OF TEMPORARY SEDIMENT BASINS;
 2. INSTALL SKIMMER, POROUS BAFFLES AND ROCK PIPE INLET PROTECTION INSIDE SEDIMENT BASINS BEFORE OUTLET PIPES/STRUCTURES;
 3. INSTALL SILT FENCE AT TEMPORARY STOCKPILE AREA;
 4. ROUGH GRADE THE SITE;
 5. INSTALL CONCRETE WASHOUT;
 6. INSTALL WATTLE DITCH CHECKS, CHECK DAMS, SEEDING, AND OTHER TEMPORARY MEASURES REQUIRED BY THE PLANS;

7. BRING ROUGH GRADING AREA TO SUBGRADE;
8. IMMEDIATELY SEED AND MULCH ALL UNPAVED AREAS;
9. INSTALL STORM DRAIN SYSTEMS. PROPERLY GROUT PIPE CONNECTIONS TO STRUCTURES AND PRECAST HEADWALLS BEFORE BACKFILL;
10. INSTALL INLET PROTECTION BMP AT EACH INLET STRUCTURE;
11. INSTALL UNDERGROUND UTILITIES;
12. INSTALL ROAD BASE COURSE MATERIAL;
13. INSTALL FINAL PAVEMENT;
14. PERMANENTLY STABILIZE AREAS TO BE VEGETATED WITH SEEDING, MULCHING AND/OR EROSION CONTROL BLANKET AS FINAL GRADE IS ESTABLISHED.

- PHASE III**
1. MAINTAIN ALL VEGETATED AREAS TO MEET THE FINAL STABILIZATION REQUIREMENTS OF THE NPDES GENERAL PERMIT;
 2. REMOVE THE SKIMMER FROM THE OUTLET STRUCTURE AND POROUS BAFFLES WITHIN DETENTION PONDS (DETENTION PONDS TO REMAIN);
 3. REMOVE ALL OTHER TEMPORARY BMPS;
 4. CONTINUE DAILY INSPECTION UNTIL NOTICE OF TERMINATION IS APPROVED BY ADEM.

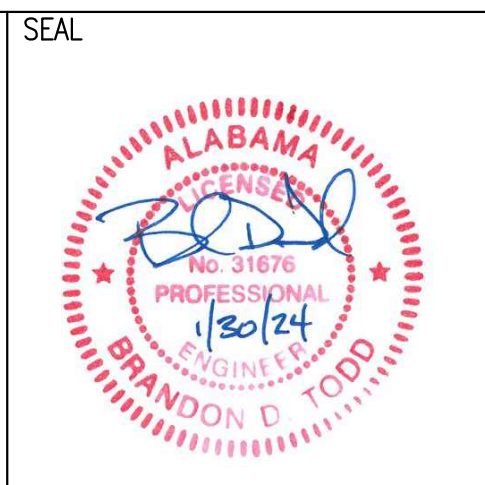
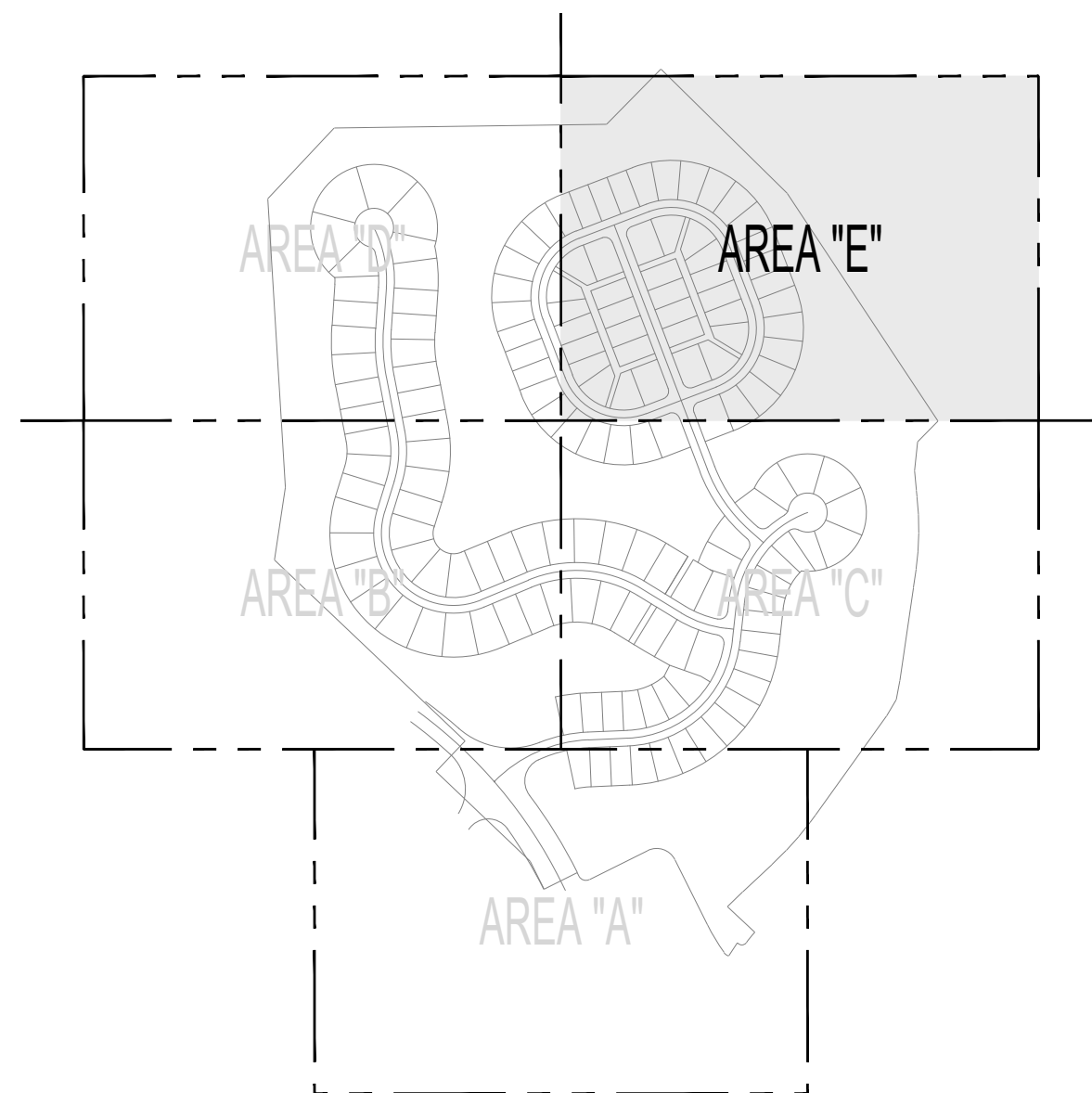
THE ACTUAL SEQUENCING OF THESE BMPS SHOWN WITHIN THE EROSION CONTROL PLAN ATTACHED TO THIS CBMP SHALL BE COORDINATED BETWEEN THE CONTRACTOR, THE OWNER AND OCP AND WILL BE ADJUSTED ON AN AS-NEEDED BASIS ACCORDING TO SITE SPECIFIC NEEDS AND ACTUAL CONSTRUCTION SEQUENCING AND ACTIVITIES.



EROSION CONTROL LEGEND

	IP	INLET PROTECTION		CONSTRUCTION EXIT PAD (SEE DETAILS)
	CD	CHECK DAM		WATER MANAGEMENT UNIT (SEE DETAILS)
	Rr	RIP-RAP STILLING BASIN		SEDIMENT BASIN (SEE DETAILS)
	SB	SILT FENCE SEDIMENT BARRIER		BERMUDA SODDING
	CF	ORANGE CONSTRUCTION FENCE BARRIER		RIPRAP-LINED SWALE
	DV	DIVERSION		TEMPORARY SLOPE DRAIN
	RD	ROCK FILTER DAM		ROLLED EROSION CONTROL BLANKET
	BFB	BRUSH FABRIC BARRIER		TEMPORARY/PERMANENT SEEDING
	ST	STRAW BALE SEDIMENT TRAP		

N.W.,
Sec. 25-1175-R1W



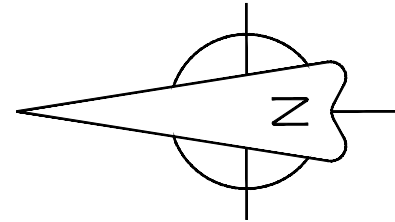
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121 Bishop Circle
Pelham, AL 35124
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**GRAND RIVER SOUTH
RESIDENTIAL - PHASE THREE**
A PROPOSED USS COMMUNITY
CITY OF LEEDS, AL

DRAWING ISSUE	
DESCRIPTION	DATE
DRAWING TITLE	
INTERMEDIATE E&S PLAN "E"	
DRAWING NO. C3.11	
SCALE 1" = 50'	
SHEET 26 of 75	
DRAWN: BDT	CHECKED: BDT
Job # 002-21	

NOT FOR CONSTRUCTION
ISSUED FOR PERMITTING
DATE: JANUARY 23, 2024

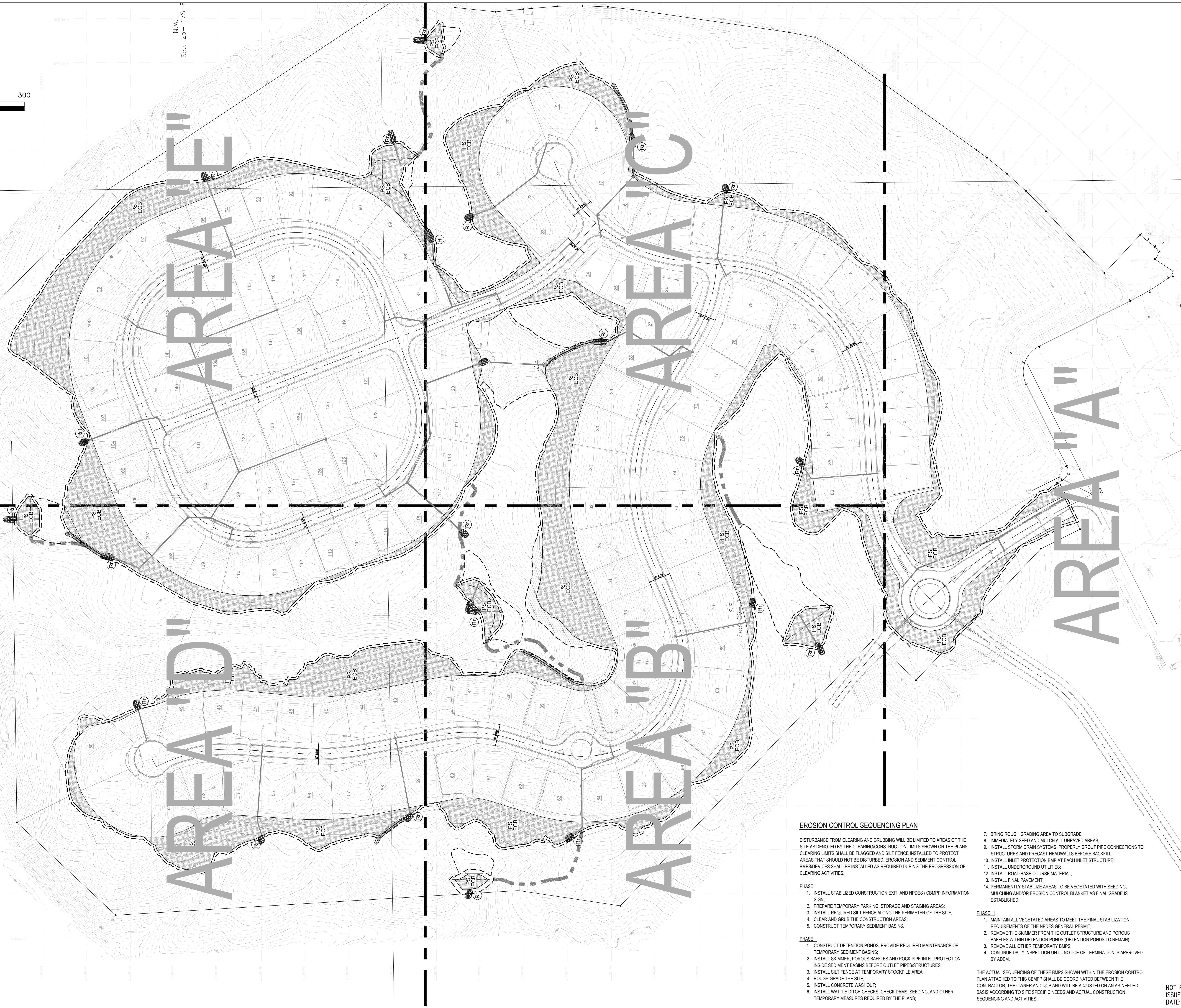


SCALE: 1"=100'



N.W.,
Sec. 25-1175-F

N.E.,
Sec. 26-1175-RIW



EROSION CONTROL SEQUENCING PLAN

DISTURBANCE FROM CLEARING AND GRUBBING WILL BE LIMITED TO AREAS OF THE SITE AS DENOTED BY THE CLEARING/CONSTRUCTION LIMITS SHOWN ON THE PLANS. CLEARING LIMITS SHALL BE FLAGGED AND SILT FENCE INSTALLED TO PROTECT AREAS THAT SHOULD NOT BE DISTURBED. EROSION AND SEDIMENT CONTROL BMPS/DEVICES SHALL BE INSTALLED AS REQUIRED DURING THE PROGRESSION OF CLEARING ACTIVITIES.

PHASE I

1. INSTALL STABILIZED CONSTRUCTION EXIT, AND NPDES / CBMP INFORMATION SIGN.
2. PREPARE TEMPORARY PARKING, STORAGE AND STAGING AREAS.
3. INSTALL REQUIRED SILT FENCE ALONG THE PERIMETER OF THE SITE.
4. CLEAR AND GRUB THE CONSTRUCTION AREAS.
5. CONSTRUCT TEMPORARY SEDIMENT BASINS.

PHASE II

1. CONSTRUCT DETENTION PONDS, PROVIDE REQUIRED MAINTENANCE OF TEMPORARY SEDIMENT BASINS.
2. INSTALL SKIMMER, POROUS BAFFLES AND ROCK PIPE INLET PROTECTION INSIDE SEDIMENT BASINS BEFORE OUTLET PIPES/STRUCTURES.
3. INSTALL SILT FENCE AT TEMPORARY STOCKPILE AREA.
4. ROUGH GRADE THE SITE.
5. INSTALL CONCRETE WASHOUT.
6. INSTALL WATTLE DITCH CHECKS, CHECK DAMS, SEEDING, AND OTHER TEMPORARY MEASURES REQUIRED BY THE PLANS.

7. BRING ROUGH GRADING AREA TO SUBGRADE.
8. IMMEDIATELY SEED AND MULCH ALL UNPAVED AREAS.
9. INSTALL STORM DRAIN SYSTEMS, PROPERLY GROUT PIPE CONNECTIONS TO STRUCTURES AND PRECAST HEADWALLS BEFORE BACKFILL.
10. INSTALL INLET PROTECTION BMP AT EACH INLET STRUCTURE.
11. INSTALL UNDERGROUND UTILITIES.
12. INSTALL ROAD BASE COURSE MATERIAL.
13. INSTALL FINAL PAVEMENT.
14. PERMANENTLY STABILIZE AREAS TO BE VEGETATED WITH SEEDING, MULCHING AND/OR EROSION CONTROL BLANKET AS FINAL GRADE IS ESTABLISHED.

PHASE III

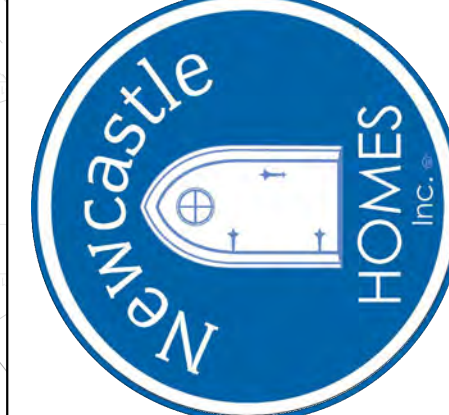
1. MAINTAIN ALL VEGETATED AREAS TO MEET THE FINAL STABILIZATION REQUIREMENTS OF THE NPDES GENERAL PERMIT.
2. REMOVE THE SKIMMER FROM THE OUTLET STRUCTURE AND POROUS BAFFLES WITHIN DETENTION PONDS (DETENTION PONDS TO REMAIN).
3. REMOVE ALL OTHER TEMPORARY BMPS.
4. CONTINUE DAILY INSPECTION UNTIL NOTICE OF TERMINATION IS APPROVED BY ADEM.

THE ACTUAL SEQUENCING OF THESE BMP'S SHOWN WITHIN THE EROSION CONTROL PLAN ATTACHED TO THIS CBMP SHALL BE COORDINATED BETWEEN THE CONTRACTOR, THE OWNER AND OCP AND WILL BE ADJUSTED ON AN AS-NEEDED BASIS ACCORDING TO SITE SPECIFIC NEEDS AND ACTUAL CONSTRUCTION SEQUENCING AND ACTIVITIES.

SEAL



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RESIDENTIAL - PHASE THREE**
A PROPOSED USS COMMUNITY
CITY OF LEEDS, AL

DRAWING ISSUE

DESCRIPTION	DATE

DRAWING TITLE
FINAL E&S
OVERALL PLAN

DRAWING NO.
C3.12

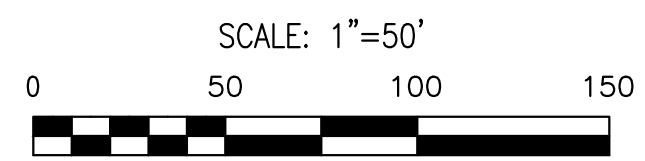
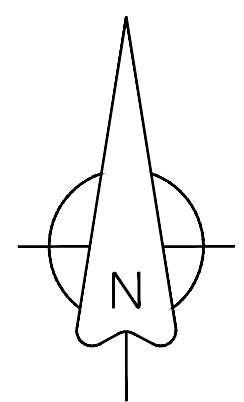
SCALE
1" = 100'

SHEET
27 of 75

DRAWN: BDT
CHECKED: BDT

NOT FOR CONSTRUCTION
ISSUED FOR PERMITTING
DATE: JANUARY 23, 2024

Job # 002-21



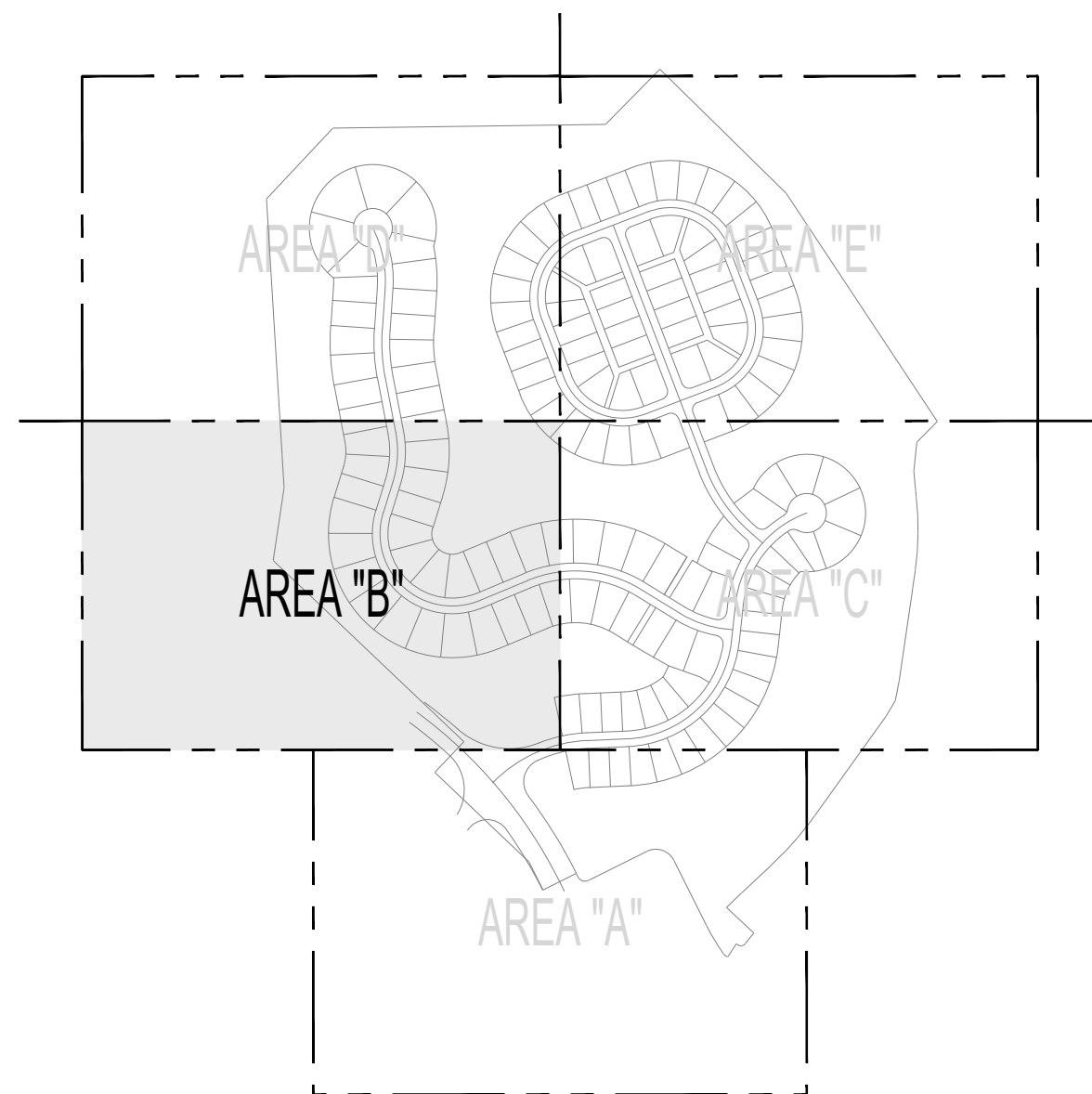
EROSION CONTROL LEGEND

	(IP)	INLET PROTECTION		CEP	CONSTRUCTION EXIT PAD (SEE DETAILS)
	(CD)	CHECK DAM		WMU	WATER MANAGEMENT UNIT (SEE DETAILS)
	(Rr)	RIP-RAP STILLING BASIN		SBN	SEDIMENT BASIN (SEE DETAILS)
	(SB)	SILT FENCE SEDIMENT BARRIER		SOD	BERMUDA SODDING
	(CF)	ORANGE CONSTRUCTION FENCE BARRIER		RS	RIPRAP-LINED SWALE
	(DV)	DIVERSION		TSD	TEMPORARY SLOPE DRAIN
	(RD)	ROCK FILTER DAM		ECB	ROLLED EROSION CONTROL BLANKET
	(BFB)	BRUSH FABRIC BARRIER		TS/PS	TEMPORARY/PERMANENT SEEDING
	(ST)	STRAW BALE SEDIMENT TRAP			

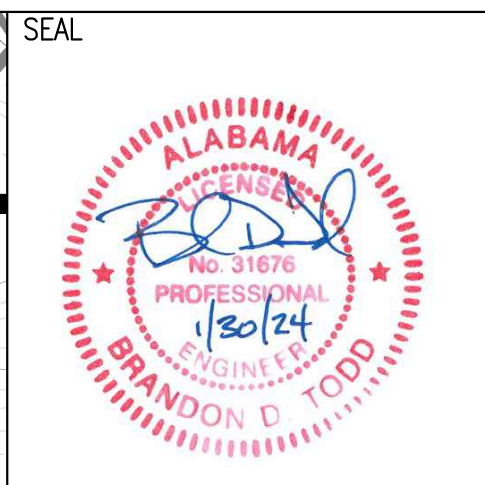
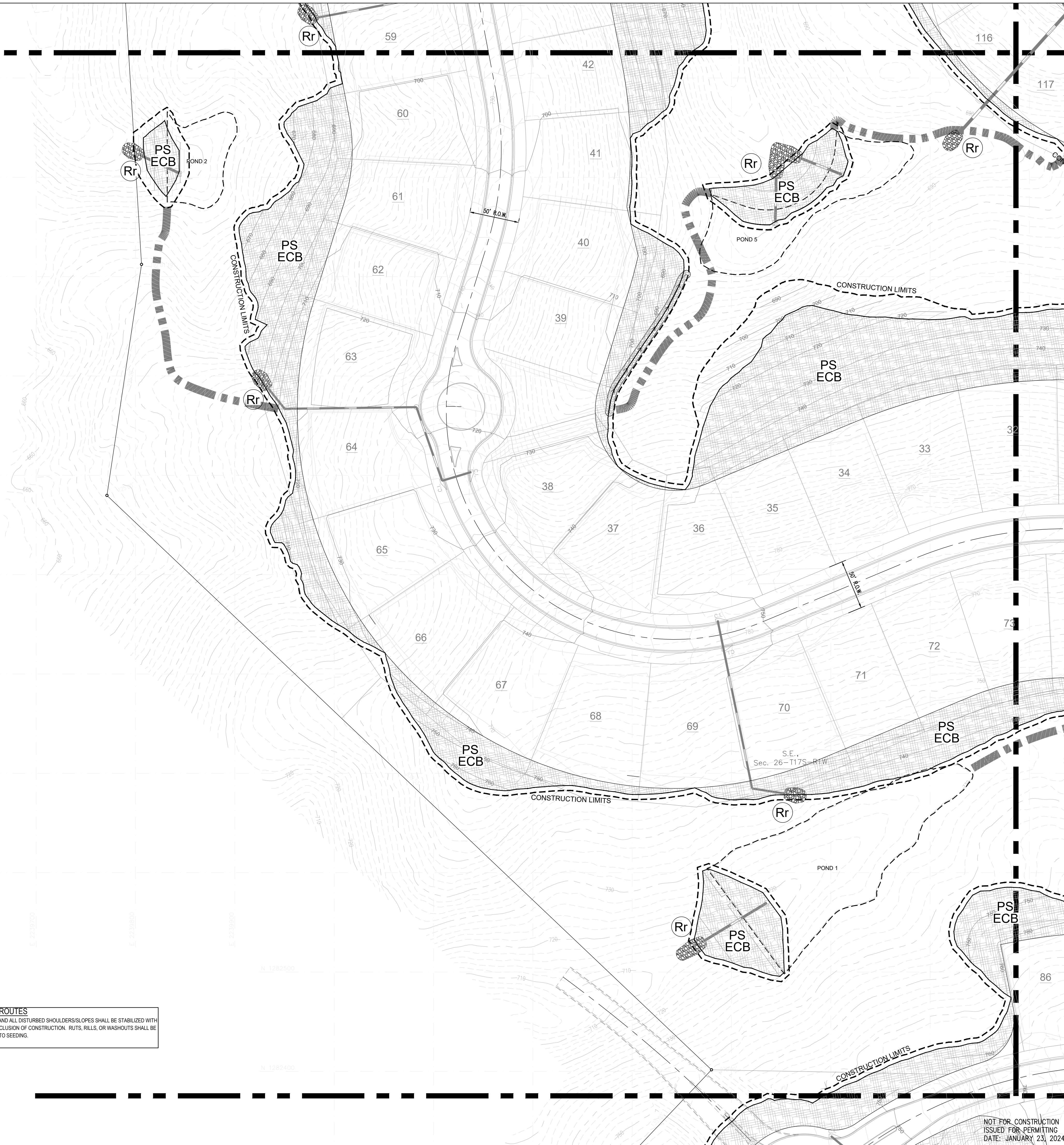
EROSION CONTROL SEQUENCING PLAN

- DISTURBANCE FROM CLEARING AND GRUBBING WILL BE LIMITED TO AREAS OF THE SITE AS DENOTED BY THE CLEARING/CONSTRUCTION LIMITS SHOWN ON THE PLANS. CLEARING LIMITS SHALL BE FLAGGED AND SILT FENCE INSTALLED TO PROTECT AREAS THAT SHOULD NOT BE DISTURBED. EROSION AND SEDIMENT CONTROL BMPS/DEVICES SHALL BE INSTALLED AS REQUIRED DURING THE PROGRESSION OF CLEARING ACTIVITIES.
- PHASE I**
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 2. PREPARE TEMPORARY PARKING, STORAGE AND STAGING AREAS;
 3. INSTALL REQUIRED SILT FENCE ALONG THE PERIMETER OF THE SITE;
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 3. REMOVE ALL OTHER TEMPORARY BMPS;
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- THE ACTUAL SEQUENCING OF THESE BMPS SHOWN WITHIN THE EROSION CONTROL PLAN ATTACHED TO THIS CBMP SHALL BE COORDINATED BETWEEN THE CONTRACTOR, THE OWNER AND O&P AND WILL BE ADJUSTED ON AN AS-NEEDED BASIS ACCORDING TO SITE SPECIFIC NEEDS AND ACTUAL CONSTRUCTION SEQUENCING AND ACTIVITIES.

SHEET LAYOUT



CONSTRUCTION ACCESS ROUTES
CONSTRUCTION ACCESS ROUTES AND ALL DISTURBED SHOULDERS/SLOPES SHALL BE STABILIZED WITH PERMANENT SEEDING AT THE CONCLUSION OF CONSTRUCTION. RUTS, RILLS, OR WASHOUTS SHALL BE SMOOTHED AND REPAIRED PRIOR TO SEEDING.



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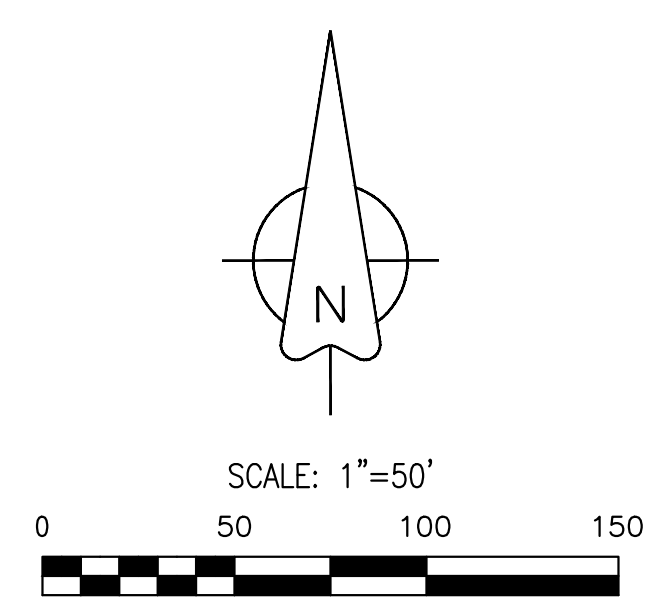
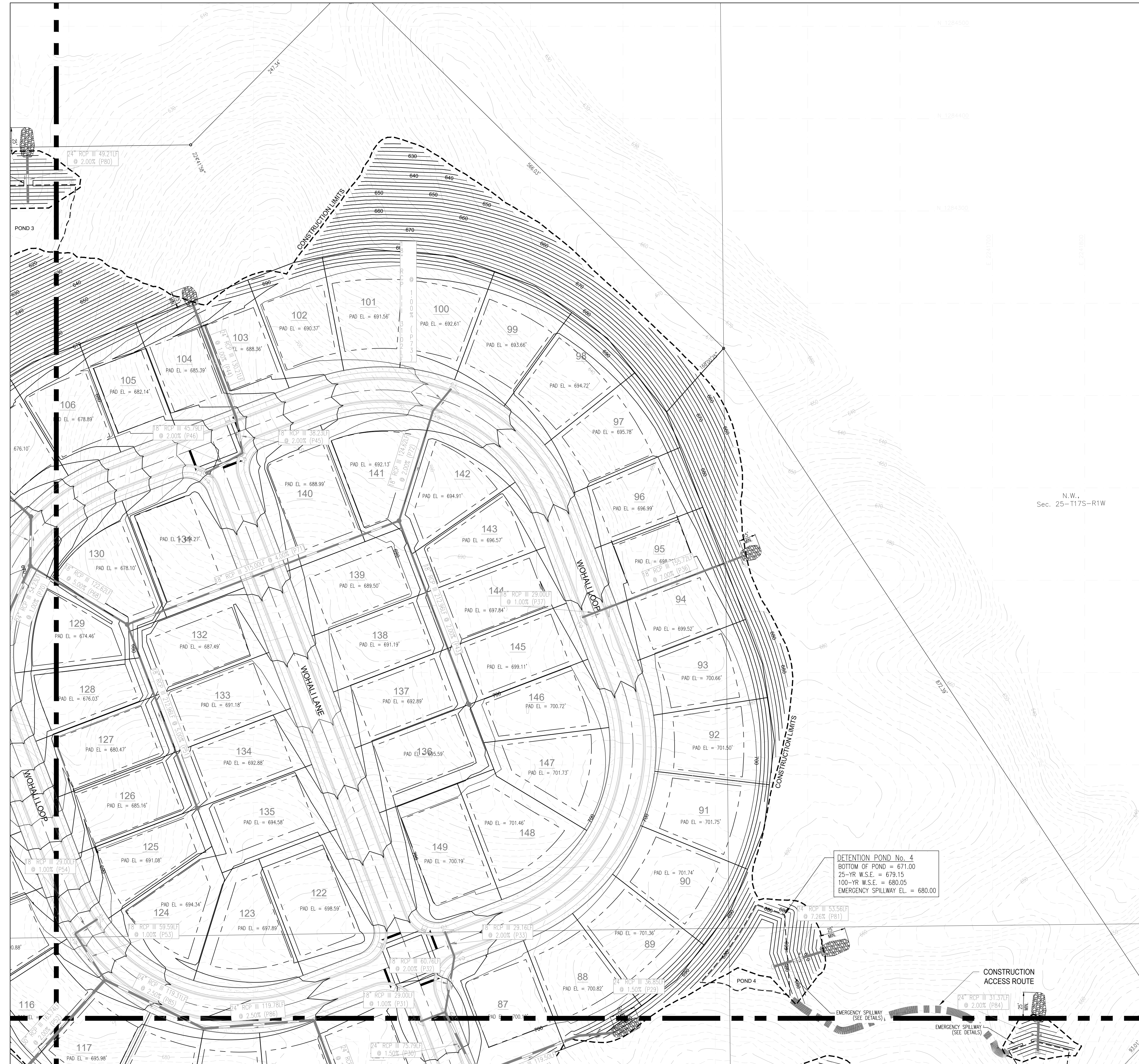


GRAND RIVER SOUTH RESIDENTIAL - PHASE THREE

A PROPOSED USS COMMUNITY
CITY OF LEEDS, AL

DRAWING ISSUE	
DESCRIPTION	DATE
DRAWING TITLE	
FINAL E&S PLAN "B"	
DRAWING NO.	
C3.14	
SCALE	
1" = 50'	
SHEET	
29 of 75	
DRAWN:	CHECKED:
BDT	BDT
Job # 002-21	

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ISSUED FOR PERMITTING
DATE: JANUARY 23, 2024



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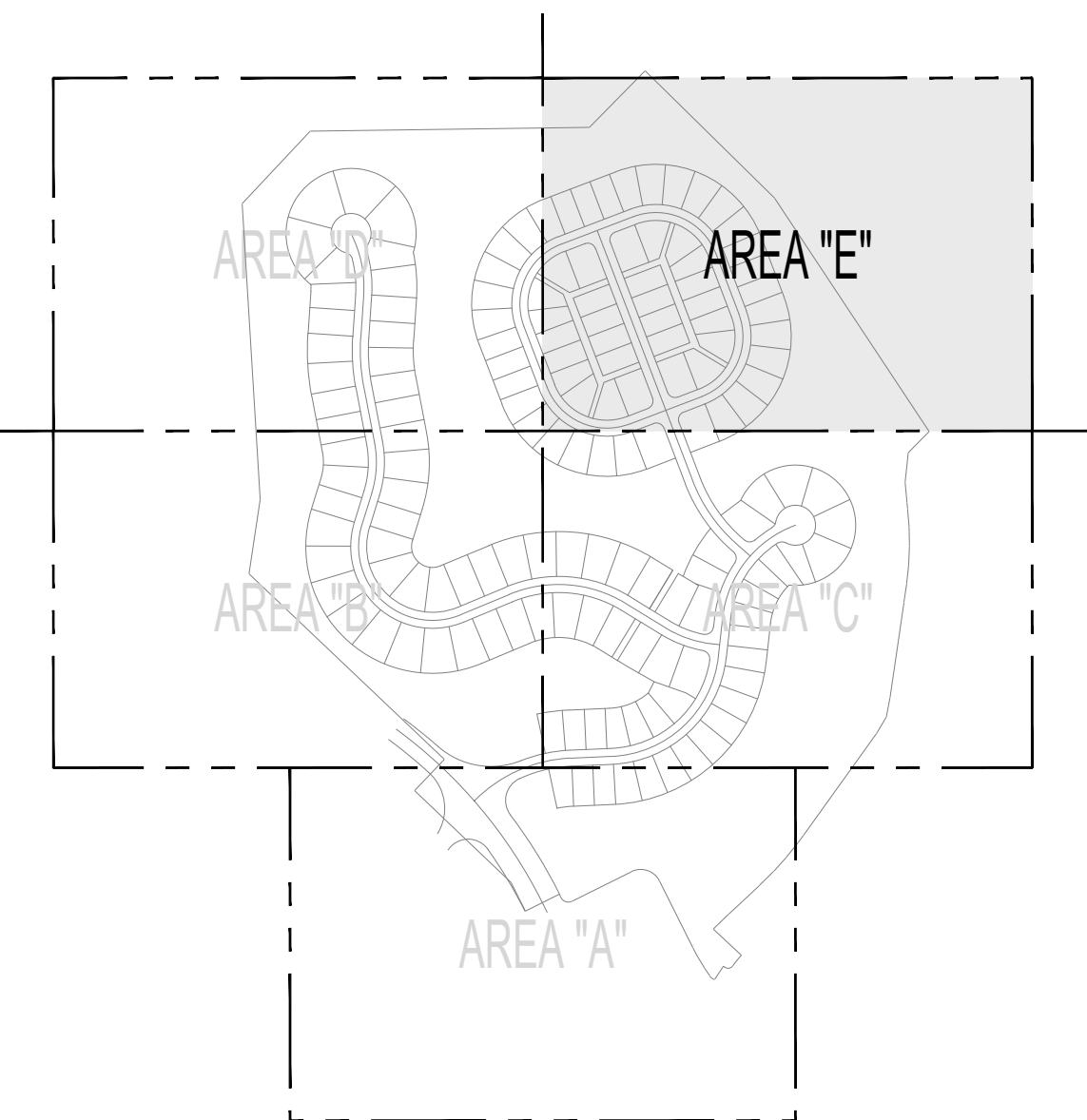


GRAND RIVER SOUTH RESIDENTIAL - PHASE THREE

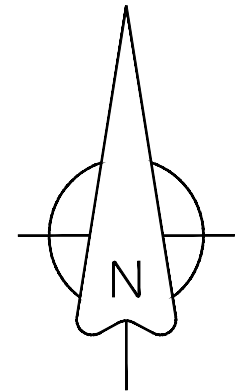
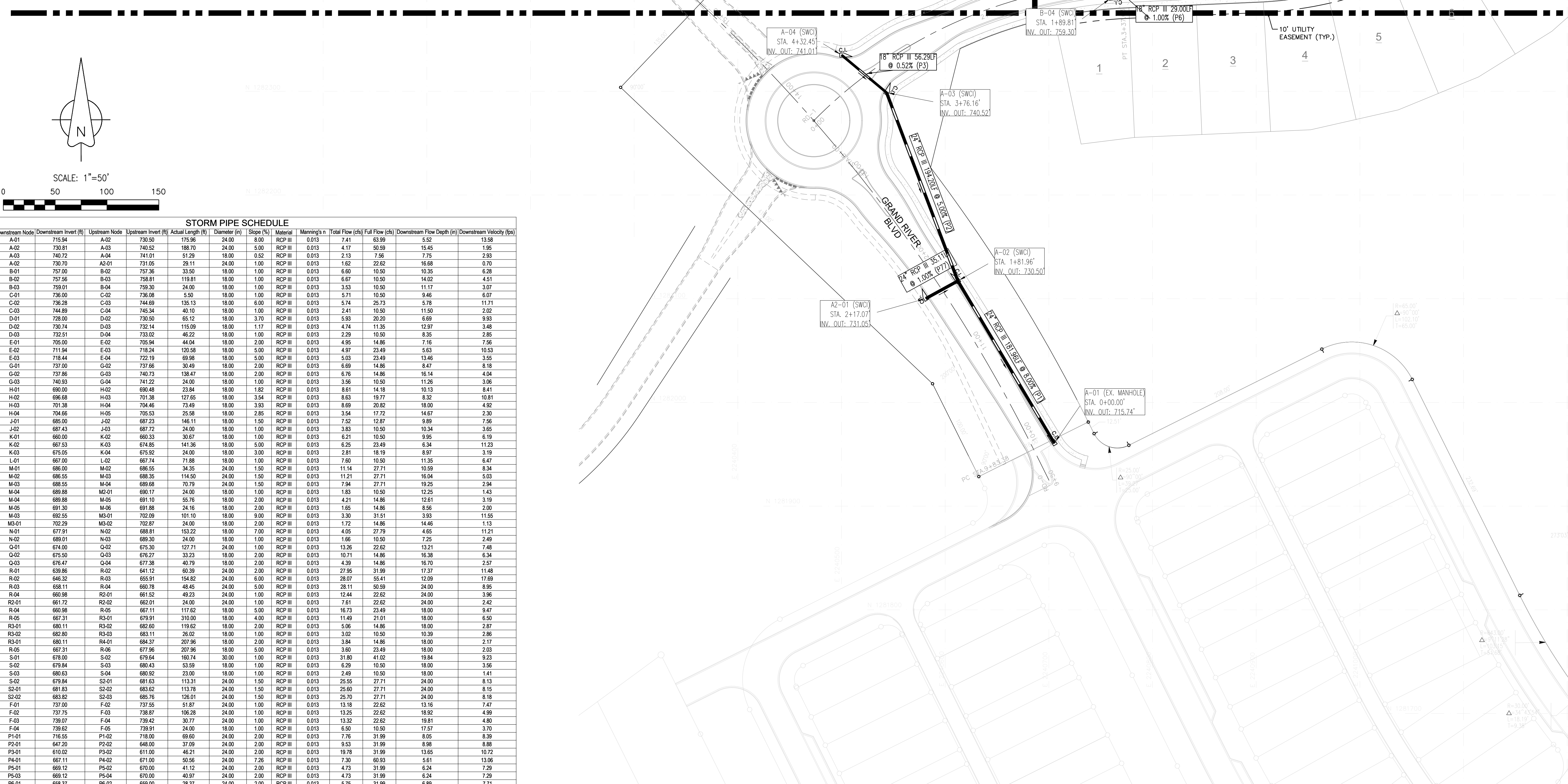
A PROPOSED USS COMMUNITY
CITY OF LEEDS, AL

DRAWING ISSUE	
DESCRIPTION	DATE

DRAWING TITLE	
GRADING PLAN "E"	
DRAWING NO.	
C4.05	
SCALE	
1" = 50'	
SHEET	
38 of 75	
DRAWN:	CHECKED:
BDT	BDT
Job # 002-21	



NOT FOR CONSTRUCTION
ISSUED FOR PERMITTING
DATE: JANUARY 23, 2024



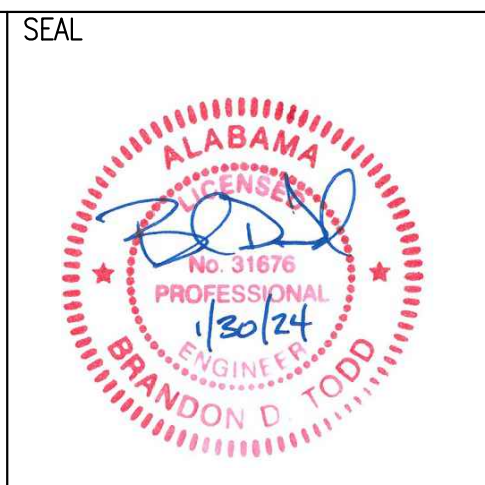
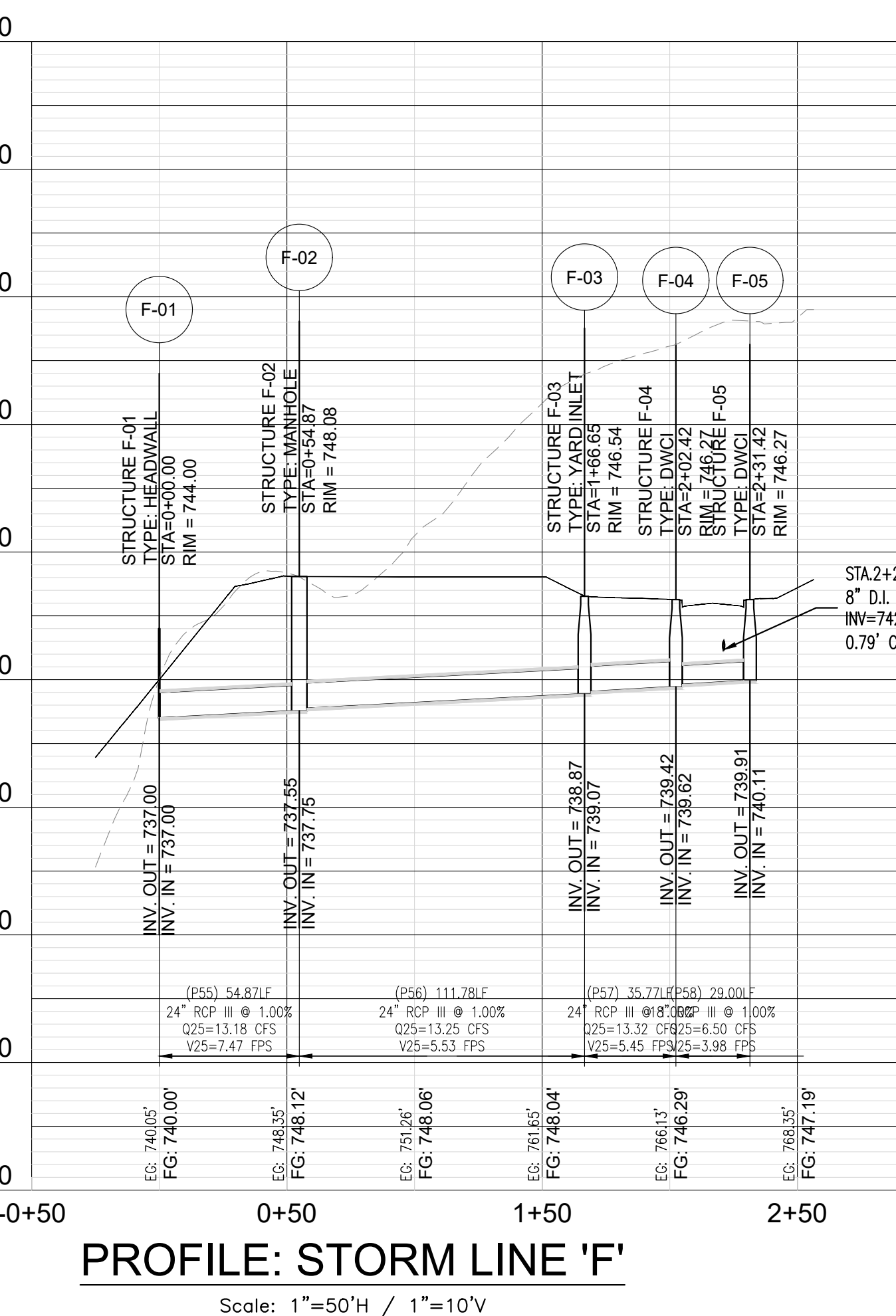
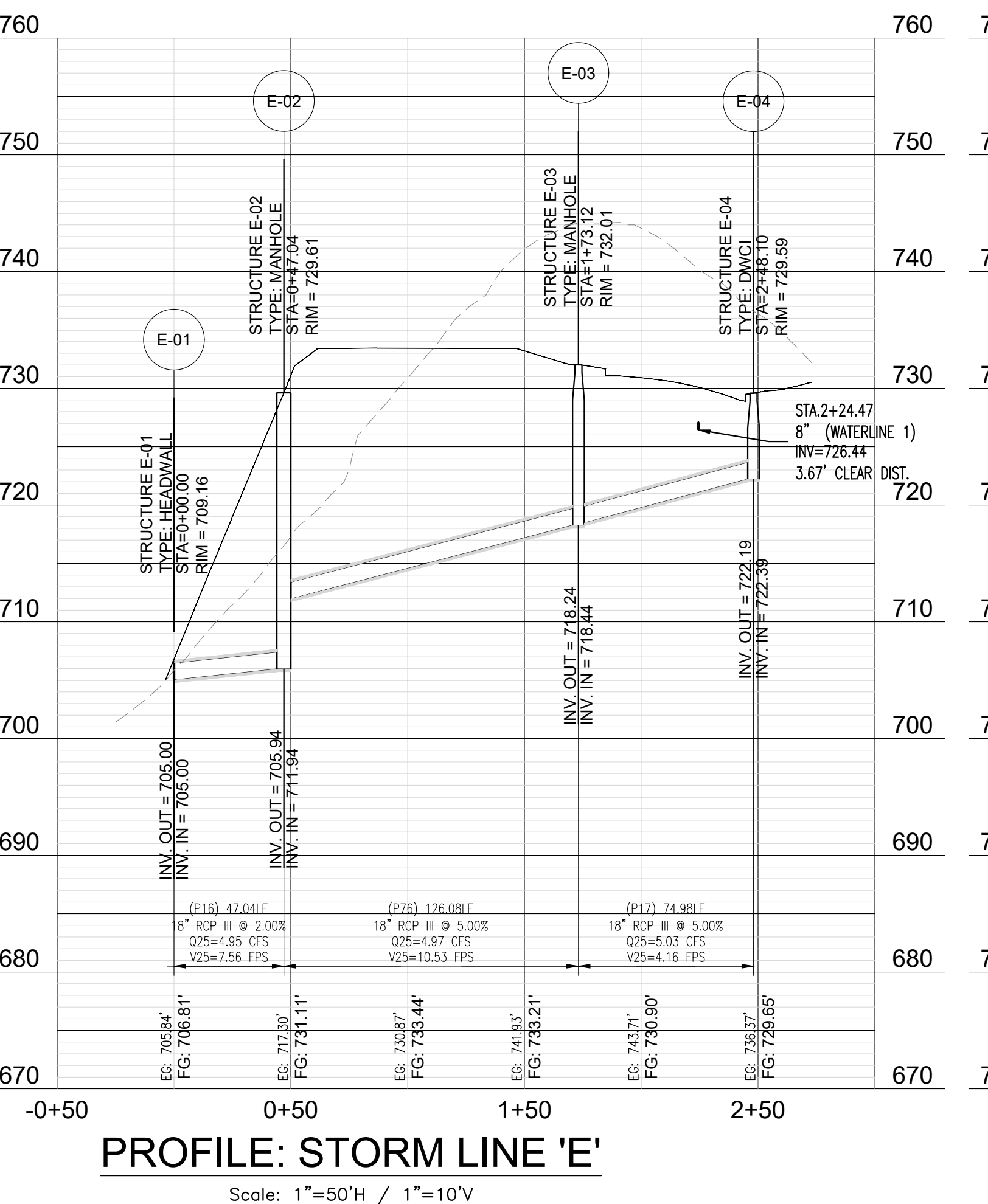
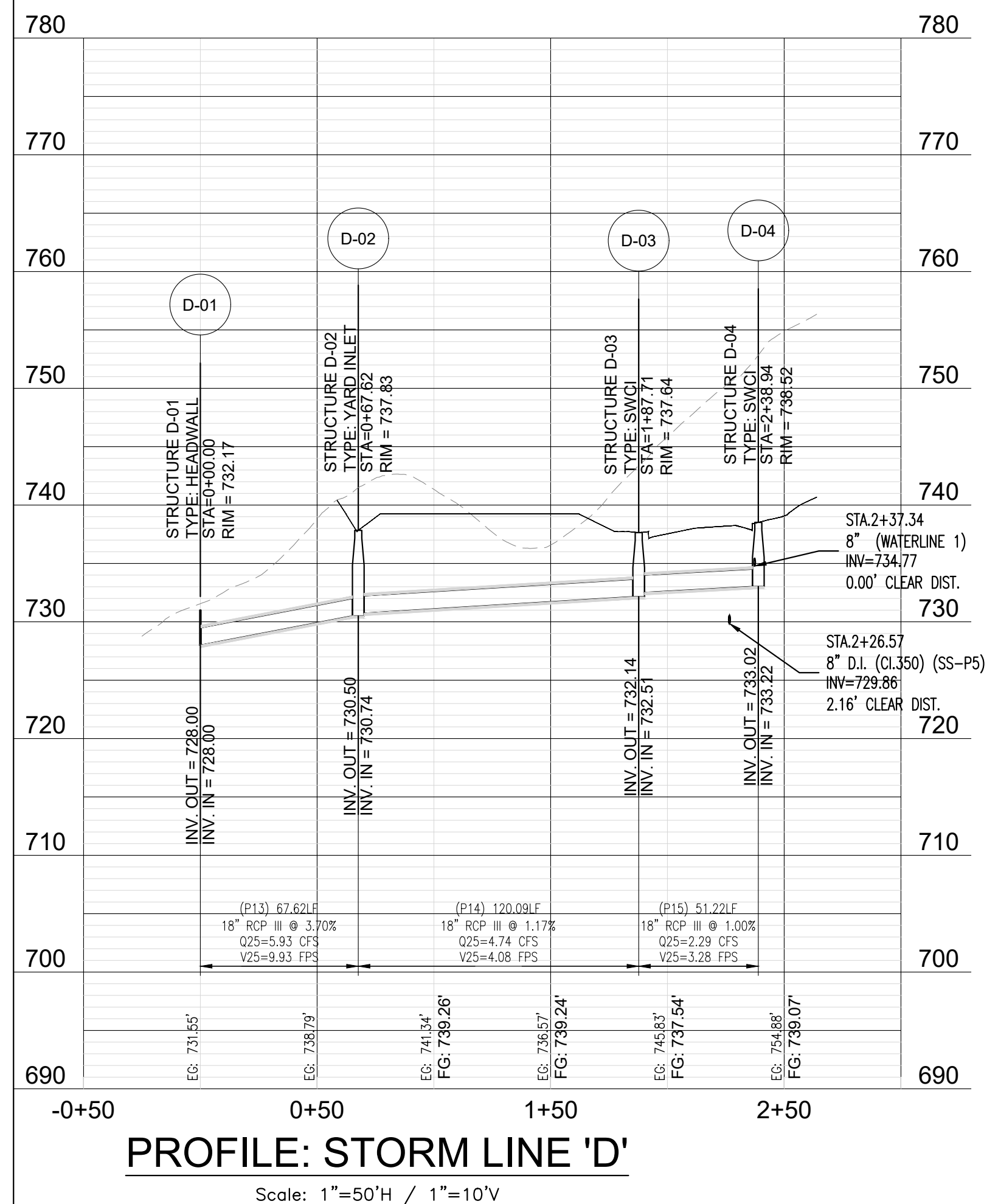
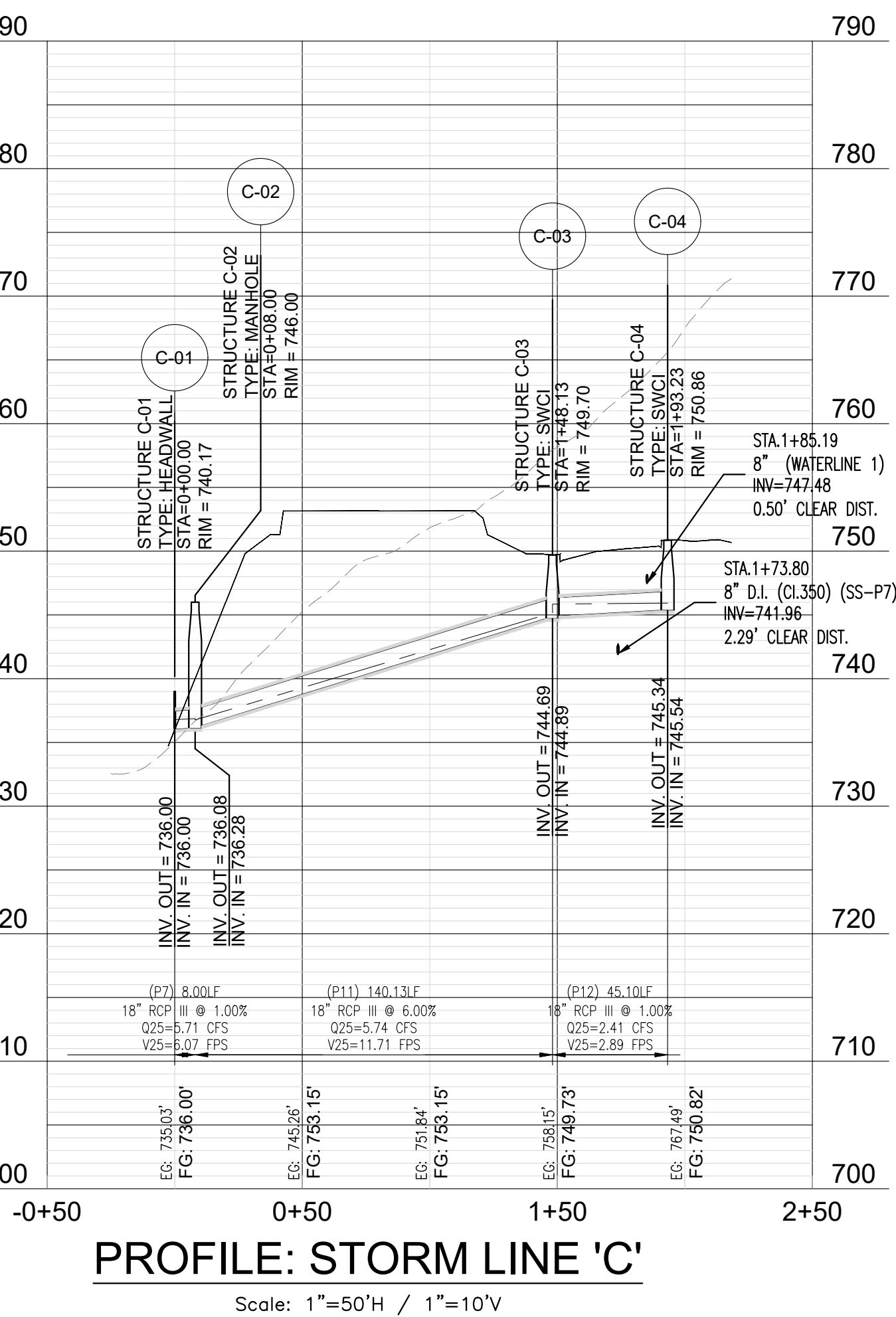
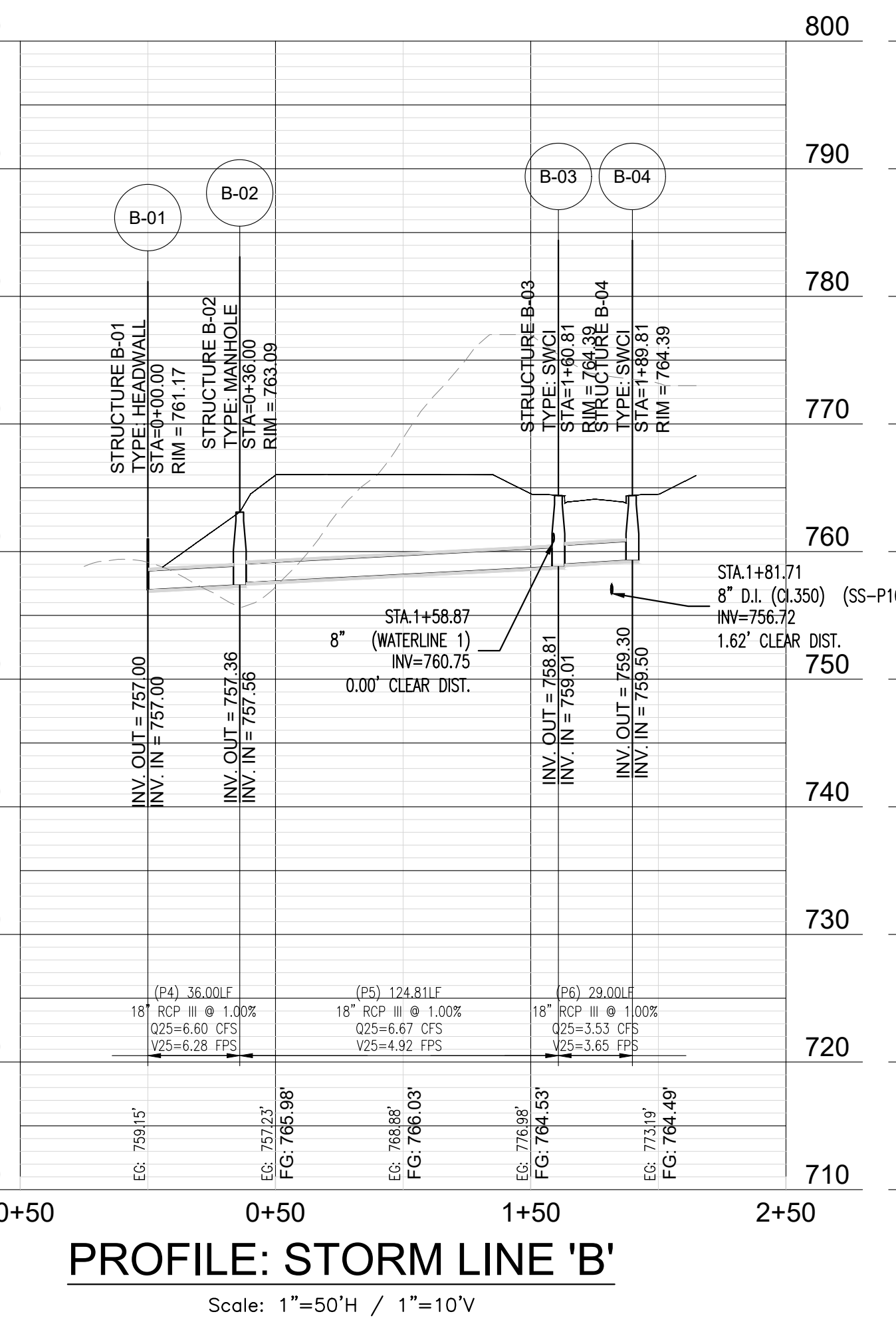
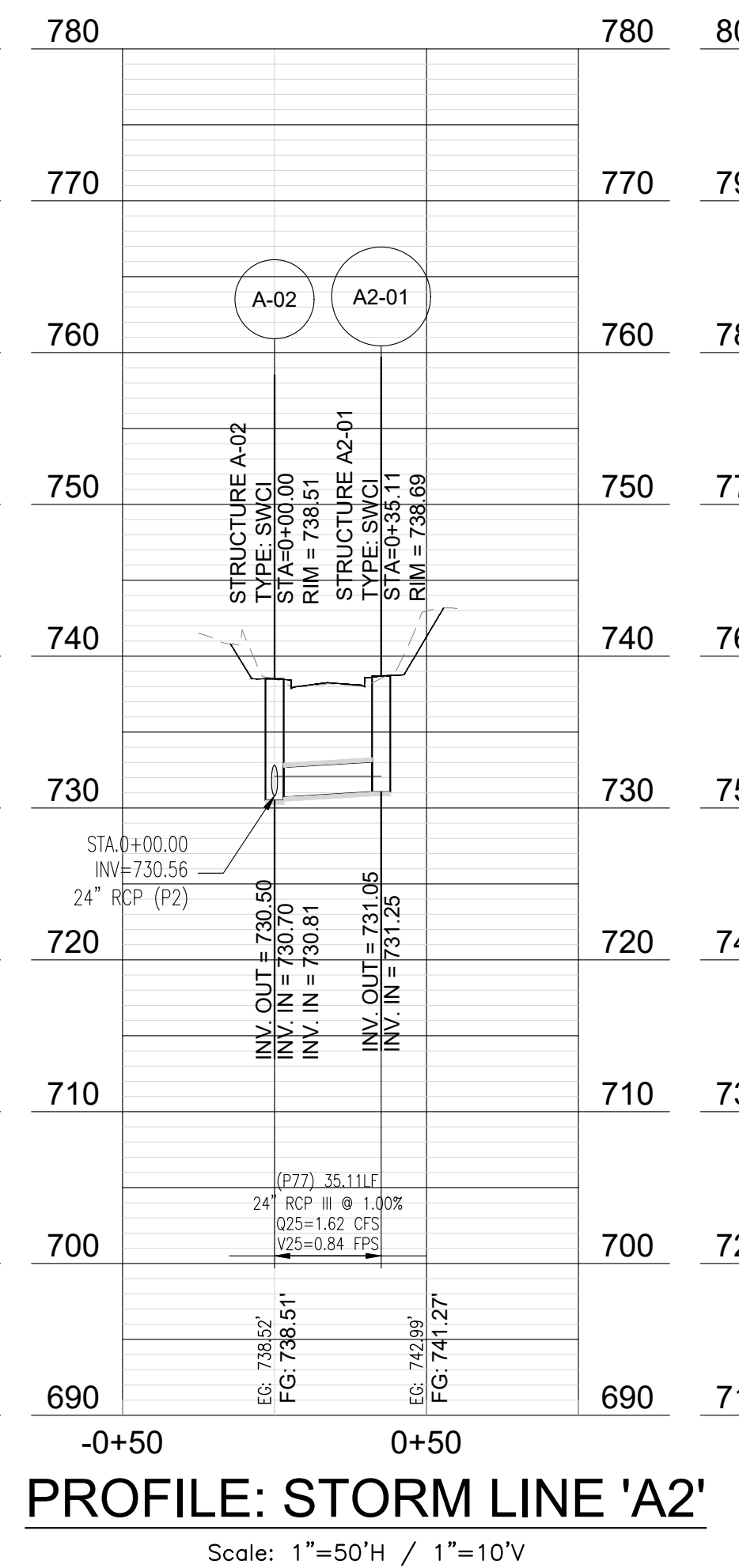
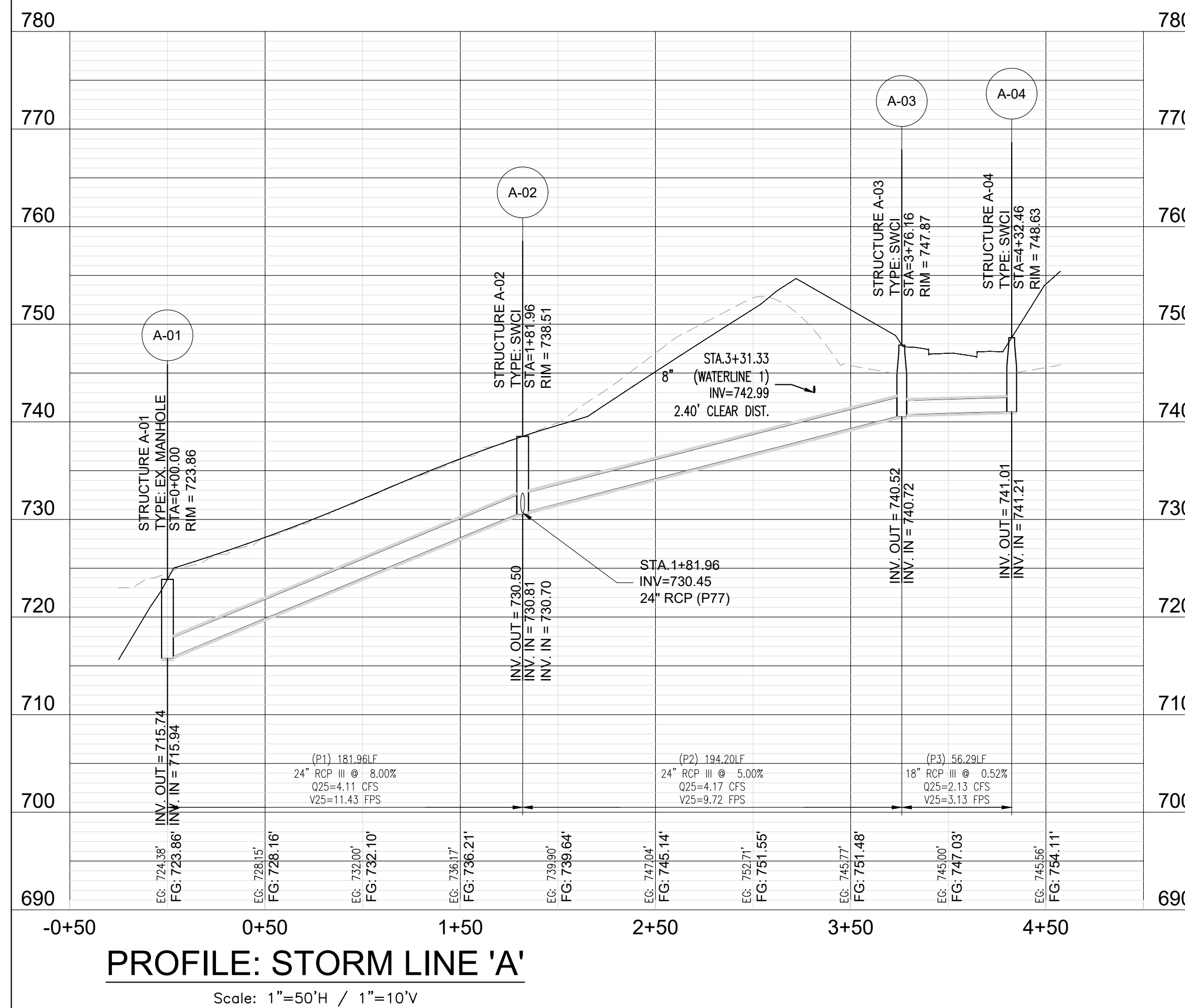
SCALE: 1"=50'
0 50 100 150

STORM PIPE SCHEDULE

Pipe Name	Downstream Node	Downstream Invert (ft)	Upstream Node	Upstream Invert (ft)	Actual Length (ft)	Diameter (in)	Slope (%)	Material	Manning's n	Total Flow (cfs)	Full Flow (cfs)	Downstream Flow Depth (ft)	Downstream Velocity (fps)
P1	A-01	715.84	A-02	730.50	175.96	24.00	8.00	RCP III	0.013	7.41	63.99	5.52	13.58
P2	A-02	730.81	A-03	740.52	188.70	24.00	5.00	RCP III	0.013	4.17	50.59	15.45	1.95
P3	A-03	740.72	A-04	741.01	51.29	18.00	0.52	RCP III	0.013	2.13	7.56	7.75	2.93
P77	A-02	730.70	A2-01	731.05	28.11	24.00	1.00	RCP III	0.013	1.62	22.62	16.88	0.70
P4	B-01	757.00	B-02	757.36	33.50	18.00	1.00	RCP III	0.013	6.60	10.50	10.35	6.28
P5	B-02	757.56	B-03	758.81	118.81	18.00	1.00	RCP III	0.013	8.87	10.50	14.02	4.51
P6	B-03	759.01	B-04	759.30	24.00	18.00	1.00	RCP III	0.013	3.53	10.50	11.17	3.07
P7	C-01	736.00	C-02	736.08	5.50	18.00	1.00	RCP III	0.013	5.71	10.50	9.46	6.07
P11	C-02	736.28	C-03	744.69	135.13	18.00	6.00	RCP III	0.013	5.74	25.73	5.78	11.71
P12	C-03	744.89	C-04	745.34	40.10	18.00	1.00	RCP III	0.013	2.41	10.50	11.50	2.02
P13	D-01	728.00	D-02	730.50	65.12	18.00	3.70	RCP III	0.013	5.93	20.20	8.69	9.93
P14	D-02	730.74	D-03	732.14	115.09	18.00	1.17	RCP III	0.013	4.74	11.35	12.97	3.48
P15	D-03	732.51	D-04	733.02	46.22	18.00	1.00	RCP III	0.013	2.29	10.50	8.35	2.85
P16	E-01	705.00	E-02	705.94	44.04	18.00	2.00	RCP III	0.013	4.95	14.86	7.16	7.56
P17	E-02	718.94	E-03	718.24	120.58	18.00	5.00	RCP III	0.013	4.97	23.49	5.63	10.53
P18	E-03	718.44	E-04	722.19	60.98	18.00	5.00	RCP III	0.013	5.03	23.49	13.46	3.55
P19	G-01	737.00	G-02	737.66	30.48	18.00	2.00	RCP III	0.013	6.69	14.86	8.47	8.18
P19	G-02	737.86	G-03	740.73	138.47	18.00	2.00	RCP III	0.013	6.76	14.86	16.14	4.04
P20	G-03	740.93	G-04	741.22	24.00	18.00	1.00	RCP III	0.013	3.56	10.50	11.26	3.06
P21	H-01	690.00	H-02	690.48	23.84	18.00	1.82	RCP III	0.013	8.61	14.18	10.13	8.41
P22	H-02	696.68	H-03	701.38	127.65	18.00	3.54	RCP III	0.013	4.63	19.77	8.32	10.81
P75	H-03	701.38	H-04	704.46	73.49	18.00	3.93	RCP III	0.013	8.69	20.82	18.00	4.92
P22	H-04	704.66	H-05	705.53	25.58	18.00	2.85	RCP III	0.013	3.54	17.72	14.67	2.30
P23	J-01	685.00	J-02	687.23	146.11	18.00	1.50	RCP III	0.013	7.52	12.87	9.89	7.56
P24	J-02	687.43	J-03	687.72	24.00	18.00	1.00	RCP III	0.013	3.83	10.50	10.34	3.65
P25	K-01	660.00	K-02	660.33	30.67	18.00	1.00	RCP III	0.013	6.21	10.50	9.95	6.19
P26	K-02	667.53	K-03	674.85	141.36	18.00	1.00	RCP III	0.013	4.26	23.49	6.34	11.23
P27	K-03	675.05	K-04	675.92	24.00	18.00	3.00	RCP III	0.013	2.81	18.19	8.97	3.19
P61	L-01	667.00	L-02	667.74	71.88	18.00	1.00	RCP III	0.013	7.60	10.50	11.35	6.47
P29	M-01	686.00	M-02	686.55	34.35	24.00	1.50	RCP III	0.013	11.14	27.71	10.59	8.34
P62	M-02	686.55	M-03	688.35	114.50	24.00	1.50	RCP III	0.013	11.21	27.71	16.04	5.03
P30	M-03	688.55	M-04	689.68	70.79	24.00	1.50	RCP III	0.013	7.94	27.71	19.25	2.94
P31	M-04	689.88	M2-01	690.17	24.00	18.00	1.00	RCP III	0.013	1.83	10.50	12.25	1.43
P32	M-04	689.88	M-05	691.10	55.76	18.00	2.00	RCP III	0.013	4.21	14.86	12.61	3.19
P33	M-05	691.30	M-06	691.88	24.16	18.00	2.00	RCP III	0.013	1.65	14.86	8.56	2.00
P34	M-03	692.55	M3-01	702.09	101.10	18.00	9.00	RCP III	0.013	3.30	31.51	3.93	11.85
P35	M3-01	702.29	M3-02	702.87	24.00	18.00	2.00	RCP III	0.013	1.72	14.86	1.13	11.3
N41	N-01	677.91	N-02	688.81	153.22	18.00	7.00	RCP III	0.013	4.05	27.79	4.65	11.21
P37	N-02	689.01	N-03	689.30	24.00	18.00	1.00	RCP III	0.013	1.66	10.50	7.25	2.49
P44	Q-01	674.00	Q-02	675.30	127.71	24.00	1.00	RCP III	0.013	13.26	22.62	13.21	7.48
P45	Q-02	675.50	Q-03	676.27	33.23	18.00	2.00	RCP III	0.013	10.71	14.86	16.38	6.34
P46	Q-03	676.47	Q-04	677.38	40.79	18.00	2.00	RCP III	0.013	4.39	14.86	16.70	2.57
P47	R-01	639.86	R-02	641.12	60.98	24.00	2.00	RCP III	0.013	27.95	31.99	17.37	11.48
P48	R-02	646.32	R-03	655.91	154.82	24.00	6.00	RCP III	0.013	28.07	55.41	12.09	17.69
P69	R-03	658.11	R-04	660.78	48.45	24.00	5.00	RCP III	0.013	28.11	50.99	24.00	8.95
P70	R-04	660.96	R2-01	661.52	49.23	24.00	1.00	RCP III	0.013	12.44	22.62	24.00	3.96
P67	R2-01	661.72	R2-02	662.01	24.00	24.00	1.00	RCP III	0.013	7.61	22.62	24.00	2.42
P68	R-05	660.96	R-06	667.11	117.62	18.00	5.00	RCP III	0.013	15.73	23.49	18.00	9.47
P71	R-06	667.31	R3-01	679.91	310.00	18.00	4.00	RCP III	0.013	11.49	21.01	18.00	6.50
P72	R3-01	680.11	R3-02	682.60	119.62	18.00	2.00	RCP III	0.013	5.06	14.86	18.00	2.87
P73	R3-02	682.80	R3-03	683.11	26.02	18.00	1.00	RCP III	0.013	3.02	10.50	10.39	2.86
P43	R3-01	680.11	R4-01	684.37	207.96	18.00	2.00	RCP III	0.013	3.84	14.86	18.00	2.17
P51	R-05	667.31	R-06	677.96	207.96	18.00	5.00	RCP III	0.013	16.90	23.49	18.00	2.00
P52	S-01	678.00	S-02	679.64	160.74	30.00	1.00	RCP III	0.013	31.80	41.02	19.84	9.23
P53	S-02	679.84	S-03	680.43	53.59	18.00	1.00	RCP III	0.013	6.29	10.50	18.00	3.56
P54	S-03	680.63	S-04	680.92	23.00	18.00	1.00	RCP III	0.013	2.49	10.50	18.00	1.41
P85	S-02	679.84	S2-01	681.83	113.31	24.00	1.50	RCP III	0.013	25.55	27.71	24.00	8.13
P86	S2-01	681.83	S2-02	683.62	113.78	24.00	1.50	RCP III	0.013	25.60	27.71	24.00	8.15
P87	S2-02	683.82	S2-03	685.76	126.01	24.00	1.50	RCP III	0.013	25.70	27.71	24.00	8.18
P55	F-01	737.00	F-02	737.55	51.87	24.00	1.00	RCP III	0.013	13.18	22.62	13.16	7.47
P56	F-02	737.75	F-03	738.87	106.28	24.00	1.00	RCP III	0.013	13.25	22.62	18.92	4.99
P57	F-03	739.07	F-04	739.42	30.77	24.00	1.00	RCP III	0.013	13.32	22.62	19.81	4.80
P58	F-04	739.62	F-05	739.91	24.00	18.00	1.00	RCP III	0.013	6.90	10.50	17.57	3.70
P78	P1-02	718.55	P1-03	718.00	69.60	24.00	2.00	RCP III	0.013	7.76	31.99	8.95	8.39
P79	P2-01	647.20	P2-02	648.00	37.09	24.00	2.00	RCP III	0.013	9.53	31.99	8.98	8.88
P80	P3-01	610.02	P3-02	611.00	46.21	24.00	2.00	RCP III	0.013	19.78	31.99	13.65	10.72
P81	P4-01	667.11	P4-02	671.00	50.56	24.00	7.28	RCP III	0.013	7.30	60.93	5.61	13.06
P82	P5-01	669.12	P5-02	670.00	41.12	24.00	2.00	RCP III	0.013	4.73	31.99	6.24	7.29
P83	P6-01	669.12	P6-04	670.00	40.97	24.00	2.00	RCP III	0.013	4.73	31.99	6.24	7.29
P84	P6-01	668.37	P6-02	669.00	28.37	24.00	2.00	RCP III	0.013	5.75	31.99	6.89	7.71

STORM STRUCTURE SCHEDULE

System Name	Structure Type	Structure ID	Northing	Easting	Rim-Elev	Invert Out/Area (Ac.)
A	A-01	Circle Structure	1281960.77	2240705.29	723.86	715.74 0.00
A	A-02	Circle Structure	1282117.14	2240612.24	738.51	730.50 0.00
A	A-03	Circle Structure	1282236.74	2240543.43	747.87	740.52 0.42
A	A-04	Circle Structure	1282334.84	2240500.23	748.63	741.01 0.44
A2	A2-01	Circle Structure	1282100.23	2240581.47	738.69	731.05 0.00
B	B-01	Headwall Inlet	1282563.30	2240778.00	761.00	757.00 0.00
B	B-02	Circle Structure	1282543.25	2240748.10	763.09	757.36 0.00
B	B-03	Circle Structure	1282418.81	2240757.25	764.39	758.81 0.61
B	B-04	Circle Structure	1282389.80	2240759.99	764.39	759.30 0.69
C	C-01	Headwall Inlet	1282741.19	2241399.40	739.00	736.00 0.00
C	C-02	Circle Structure	1282742.08	2241391.45	746.00	736.08 0.00
C	C-03	Circle Structure	1282757.55	2241252.18	749.70	744.69 0.66
C	C-04	Circle Structure	1282737.15	2241211.95	750.86	745.34 0.46
D	D-01	Headwall Inlet	1282949.39	2241505.78	731.00	728.00 0.00
D	D-02	Circle Structure	1282950.46	2241438.16	733.83	730.50 0.28
D	D-03	Circle Structure	1283032.93	2241350.87	737.64	732.14 0.54
D	D-04	Circle Structure	1283022.88	2241300.65	738.52	733.02 0.44
E	E-01	Headwall Inlet	1283114.60	2241350.33	706.81	705.00 0.00
E	E-02	Circle Structure	1283270.58	2241306.91	729.61	705.94 0.00
E	E-03	Circle Structure	1283170.81	2241444.00	732.01	718.24 0.00
E	E-04	Circle Structure	1283147.03	2241515.11	729.59	722.19 1.14
F	F-01	Headwall Inlet	1283010.59	2241060.92	744.00	737.00 0.00
F	F-02	Circle Structure	1282961.70	2241085.83	748.08	737.55 0.00
F	F-03	Circle Structure	1282866.26	2241027.84	746.54	738.87 0.00
F	F-04	Circle Structure	1282939.50	2241036.13	746.27	739.32 1.32
F	F-05	Circle Structure	1282814.74	2241036.27	746.27	739.91 1.25
G	G-01	Headwall Inlet	1282679.74	2240453.40	739.14	737.00 0.00
G	G-02	Circle Structure	1282684.80			



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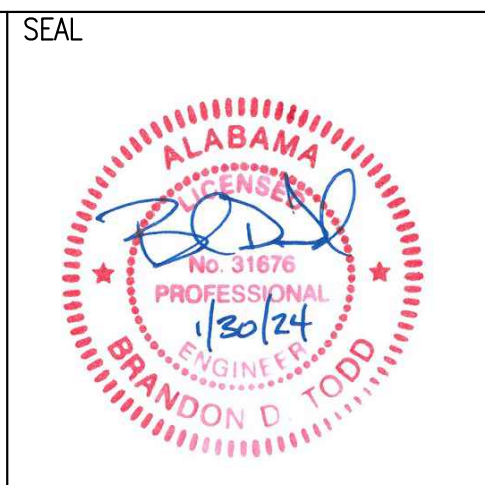
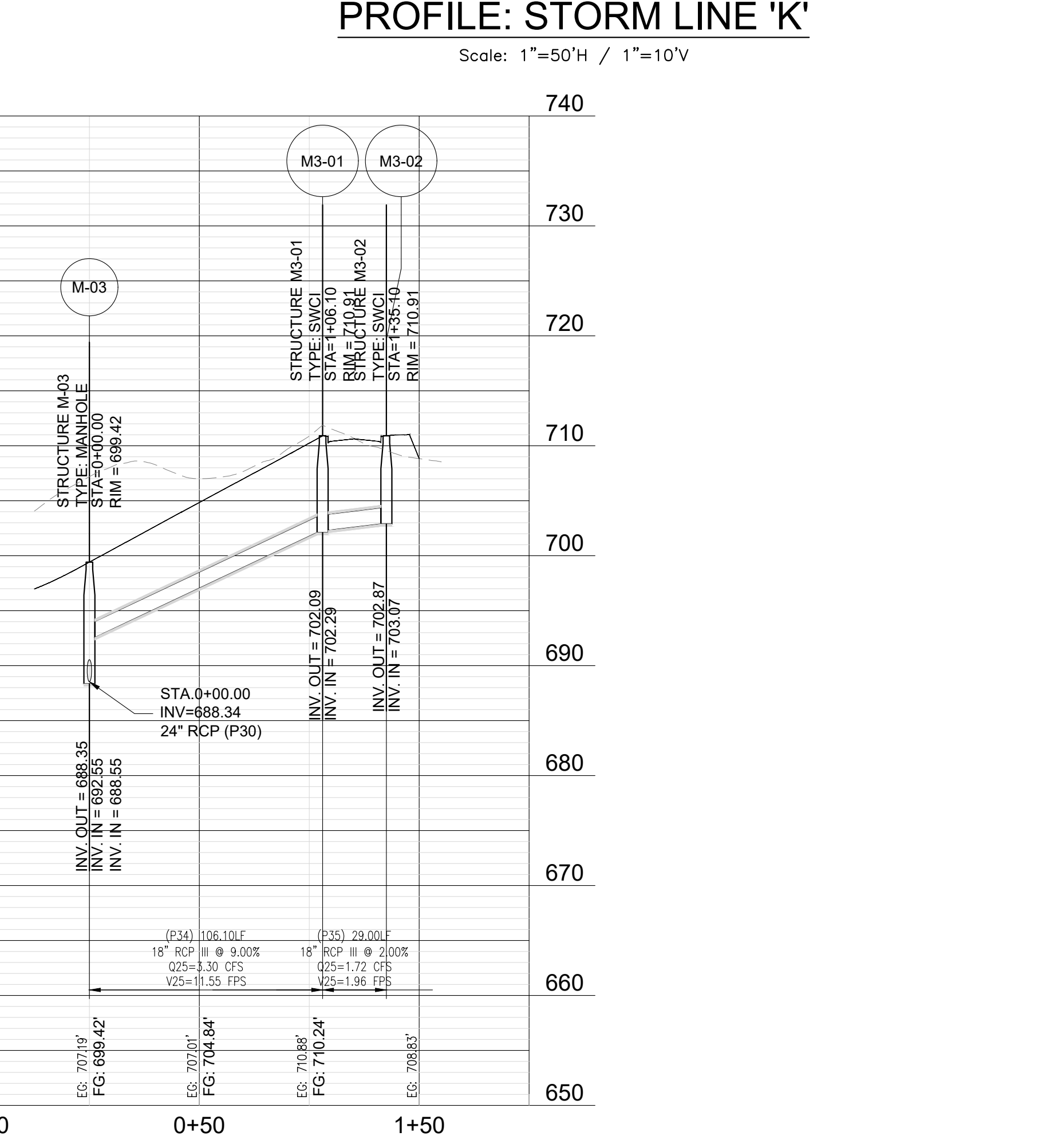
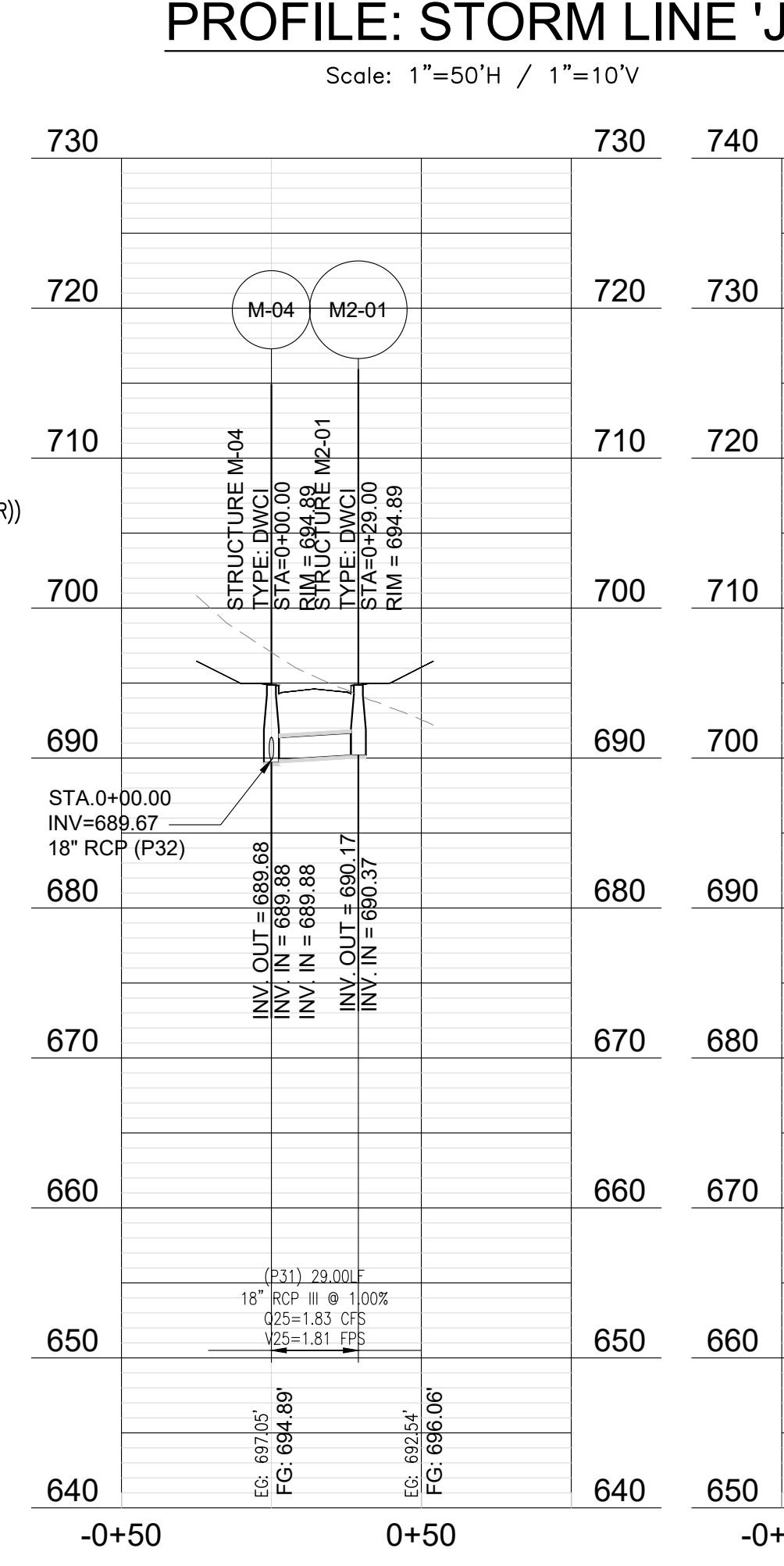
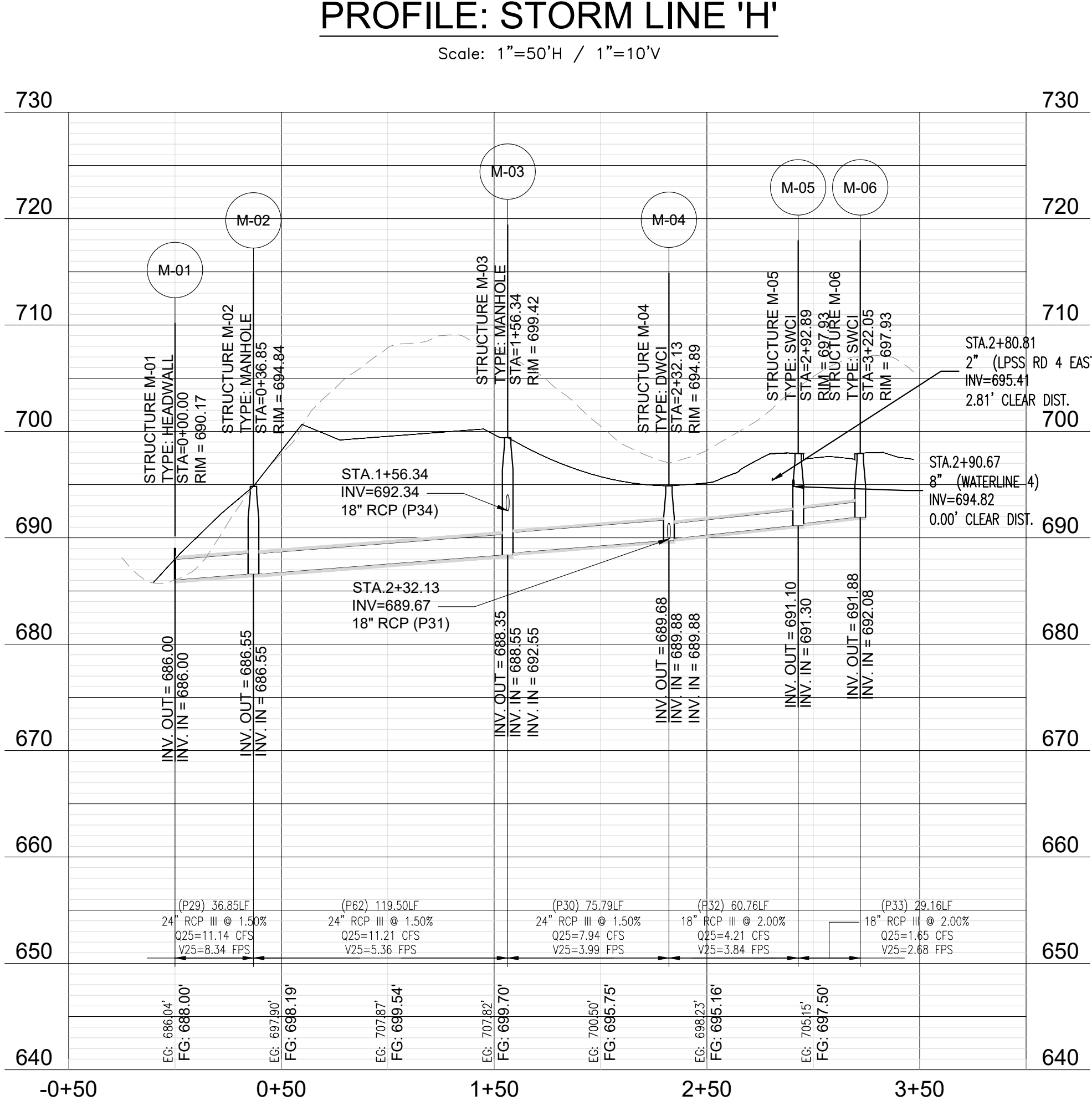
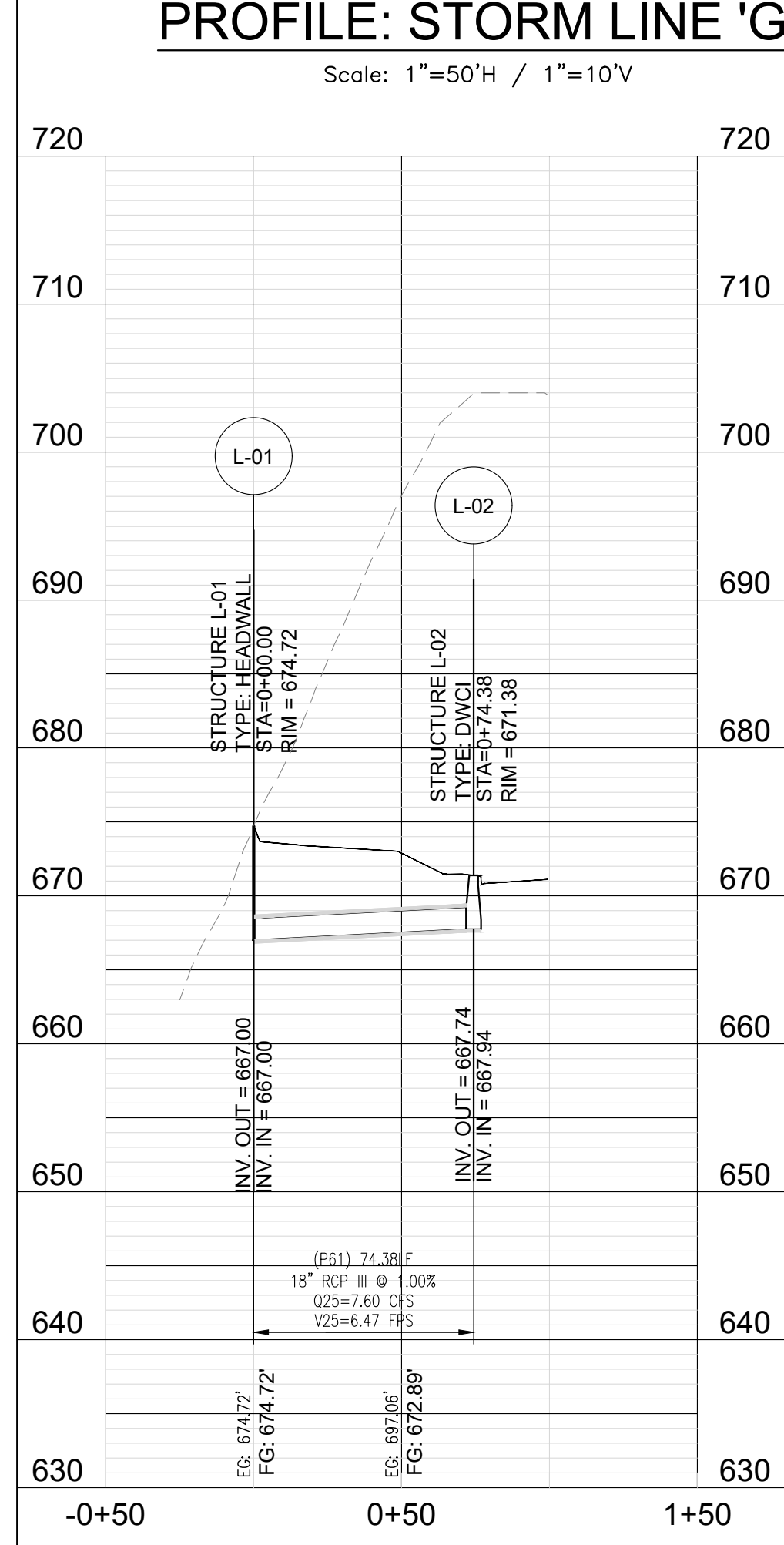
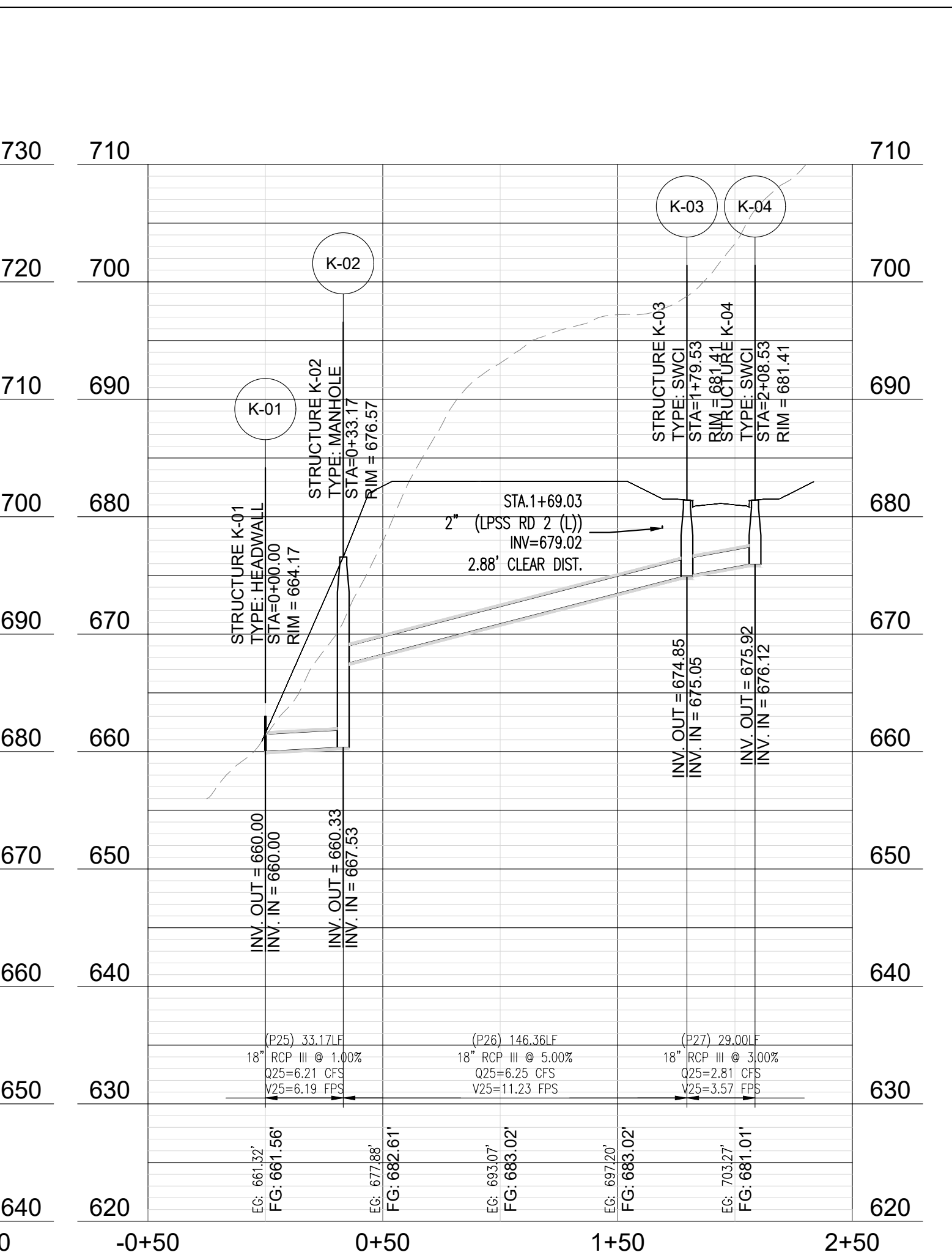
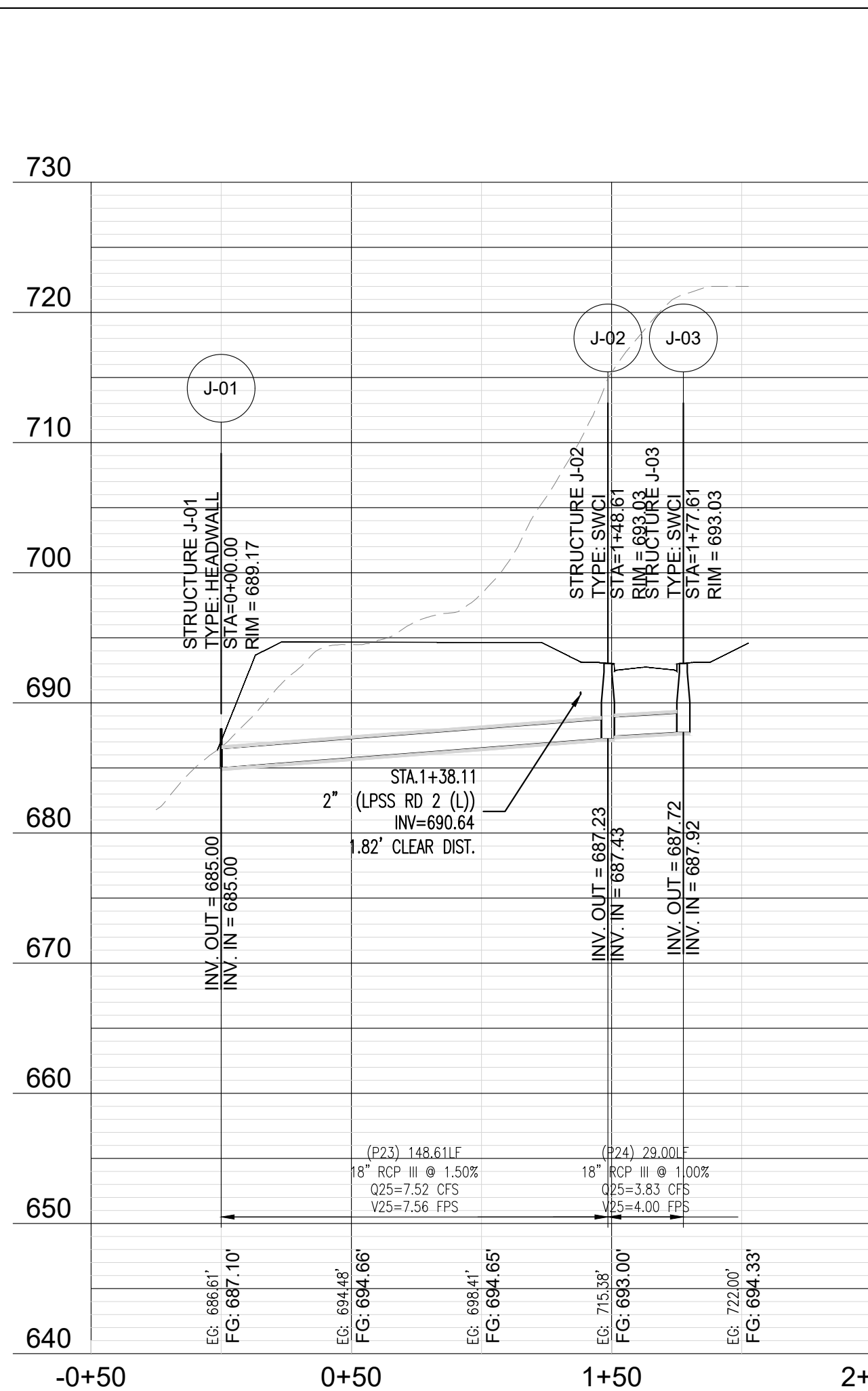
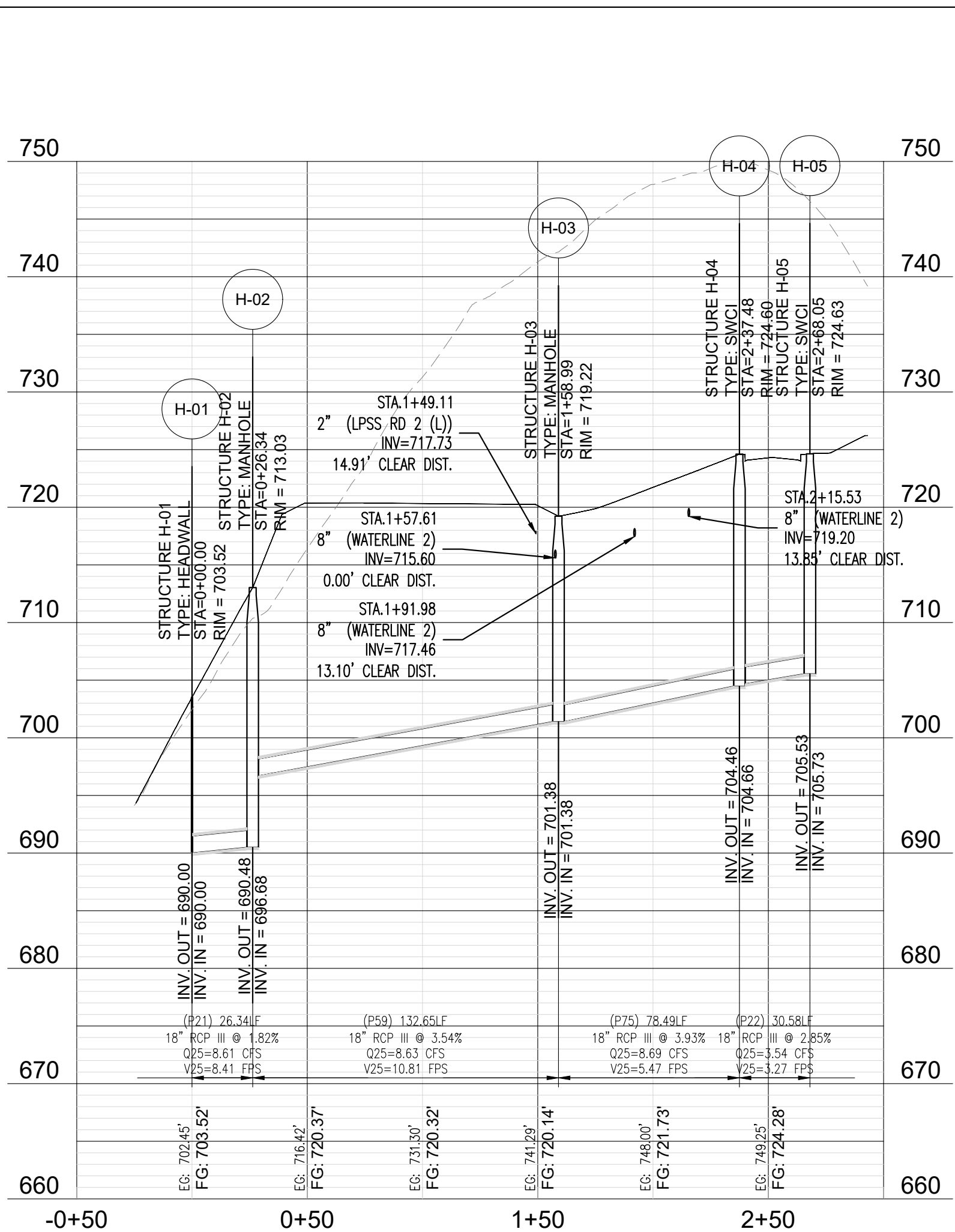
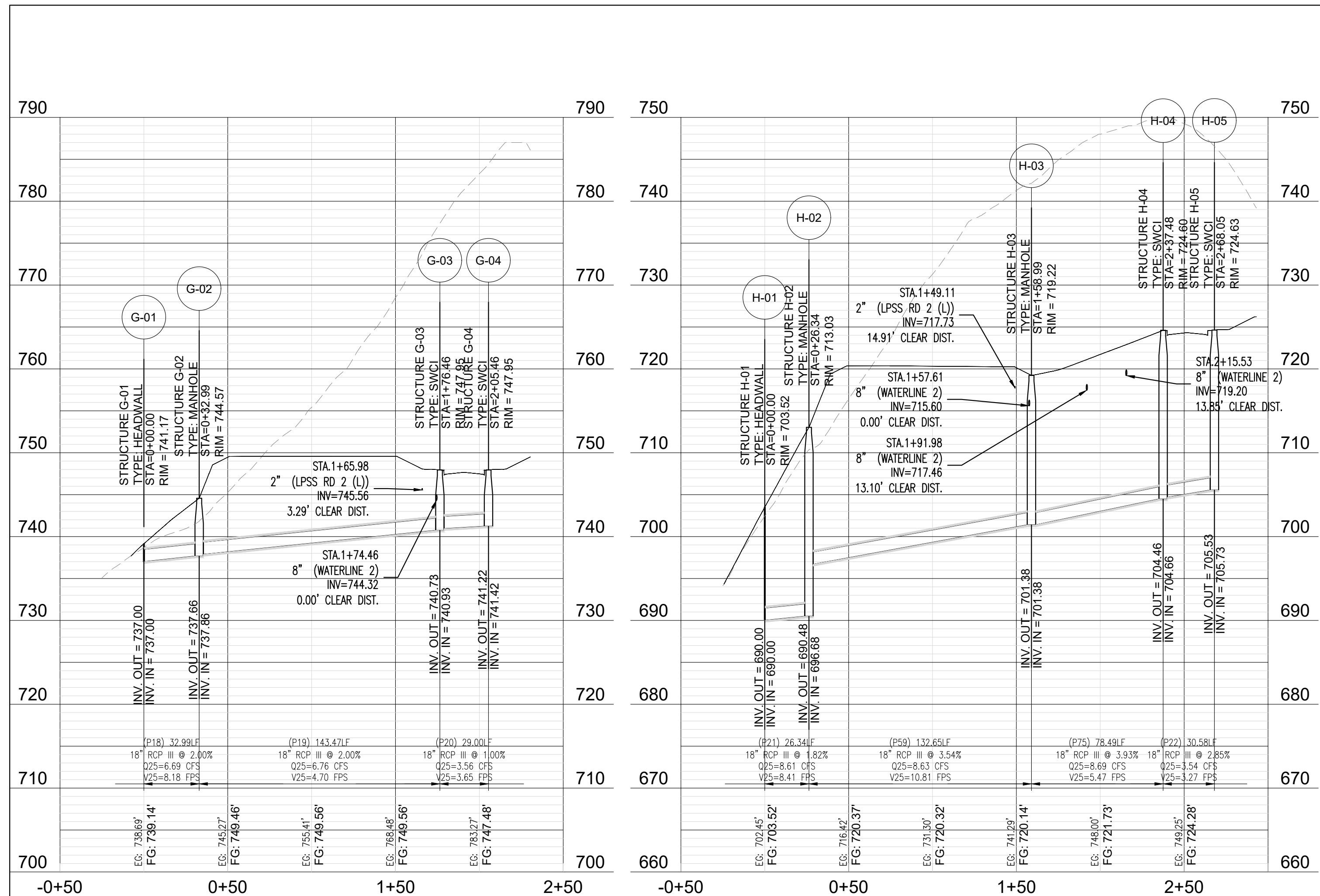
GRAND RIVER SOUTH RESIDENTIAL - PHASE THREE

A PROPOSED USS COMMUNITY
CITY OF LEEDS, AL

DRAWING ISSUE	
DESCRIPTION	DATE

DRAWING TITLE	
STORM PROFILES 1	
DRAWING NO.	
C5.06	
SCALE	
1" = 50'	
SHEET	
45 of 75	
DRAWN:	CHECKED:
BDT	BDT
Job # 002-21	

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DATE: JANUARY 23, 2024



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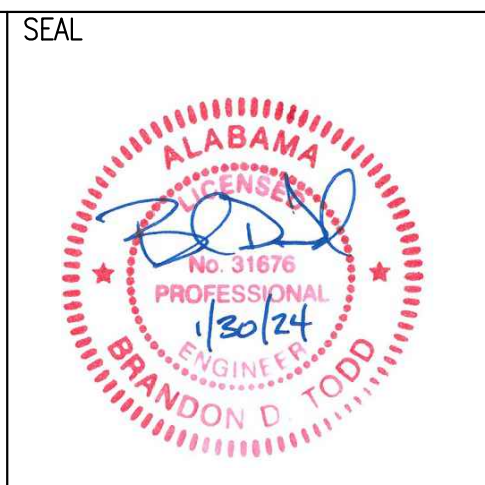
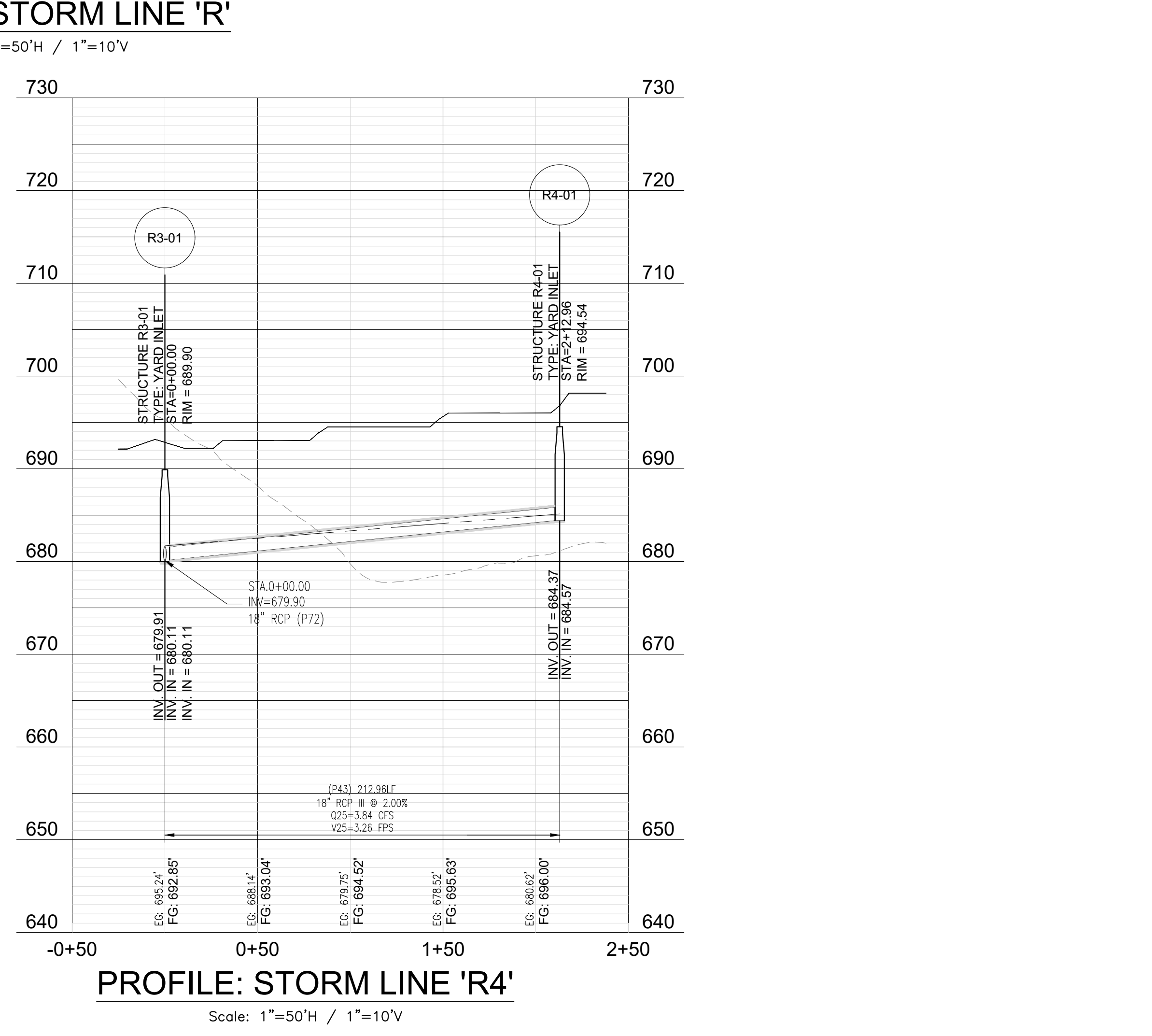
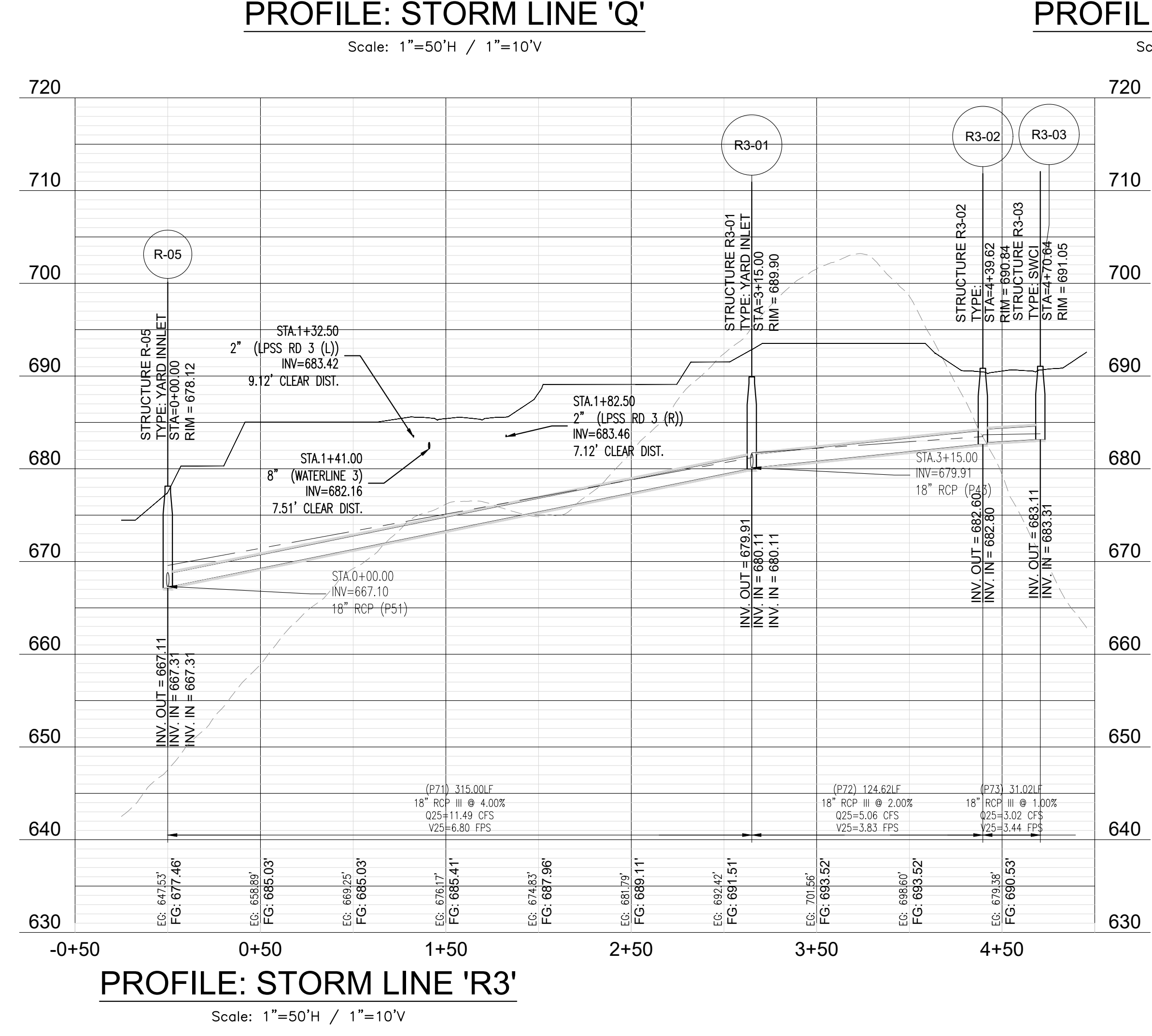
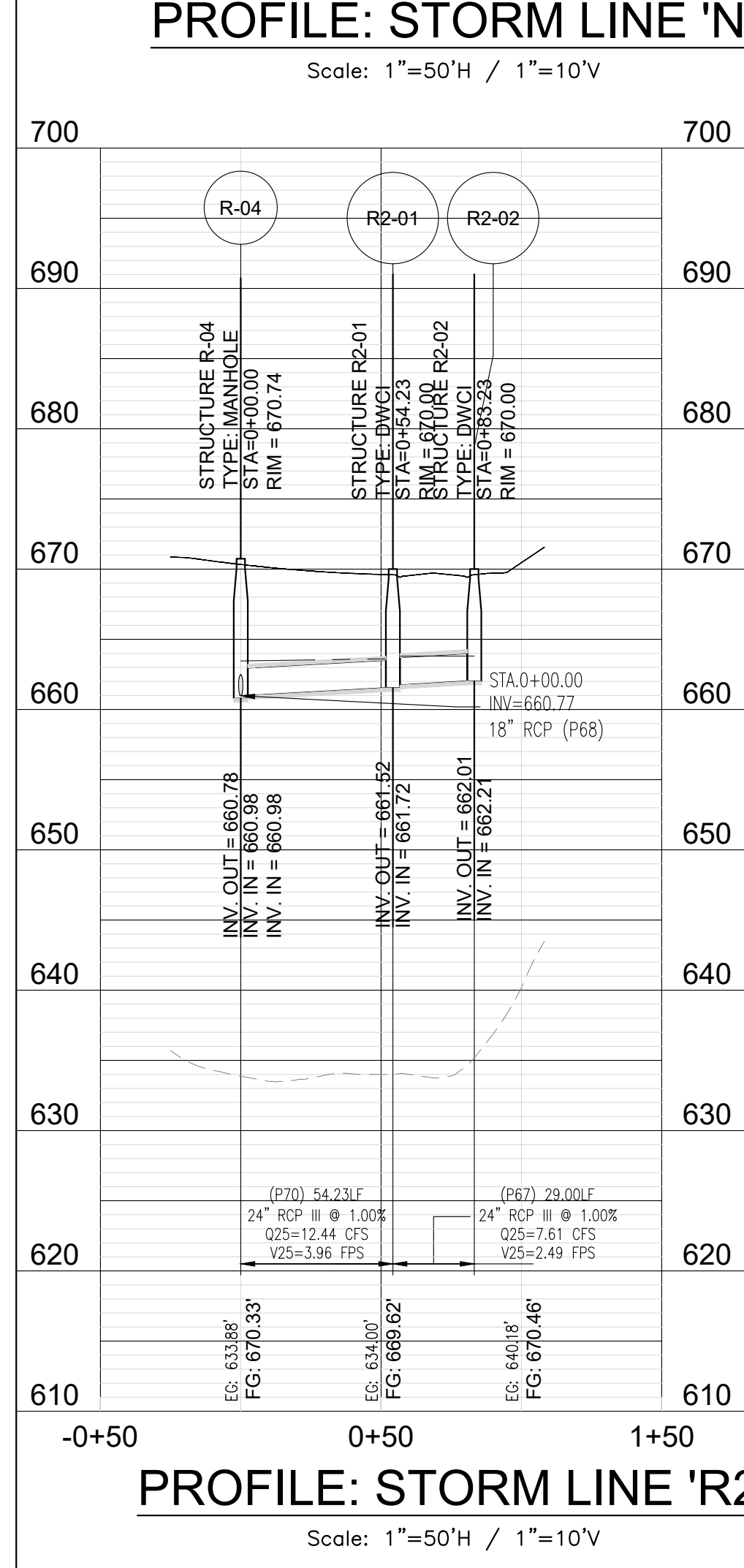
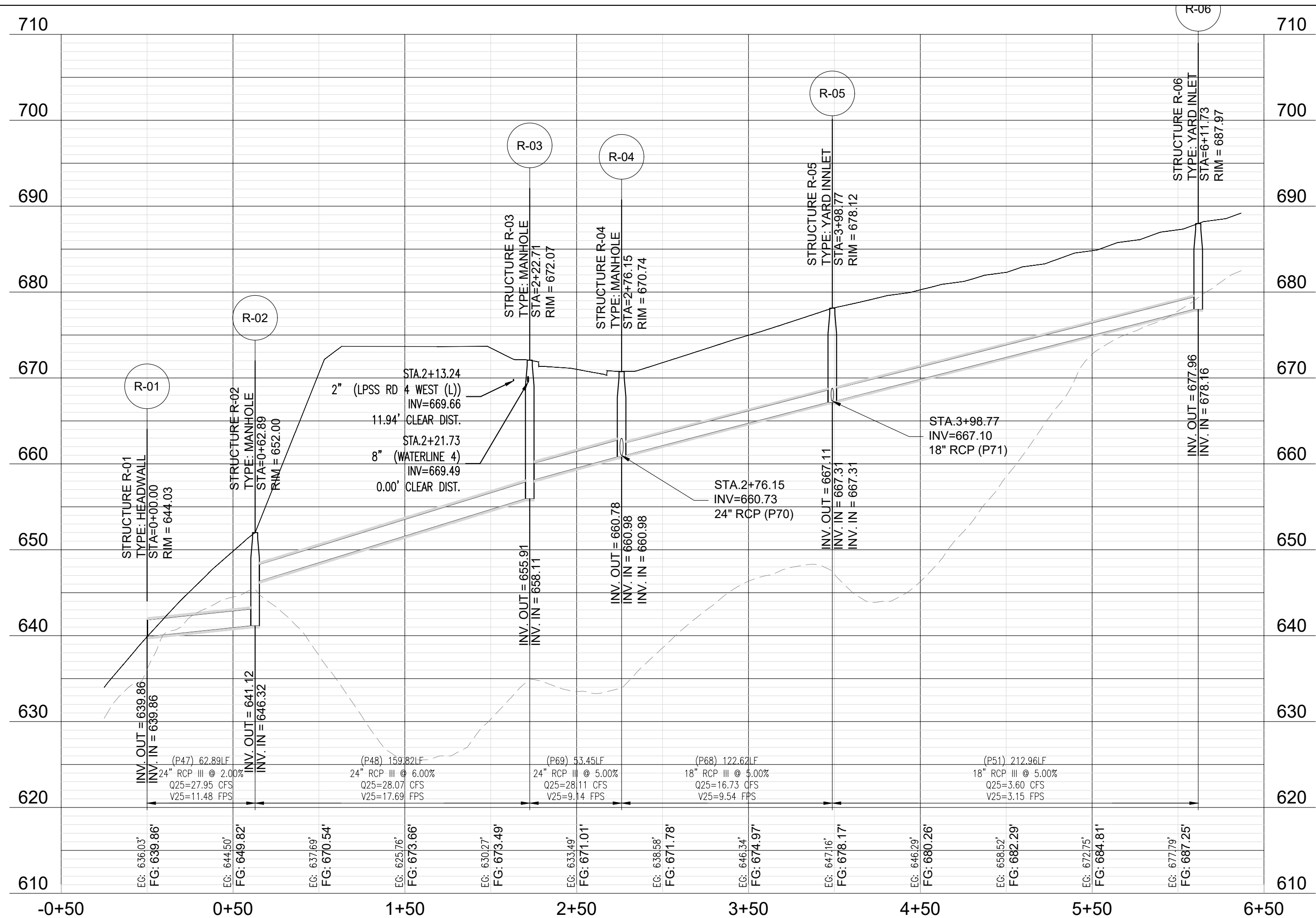
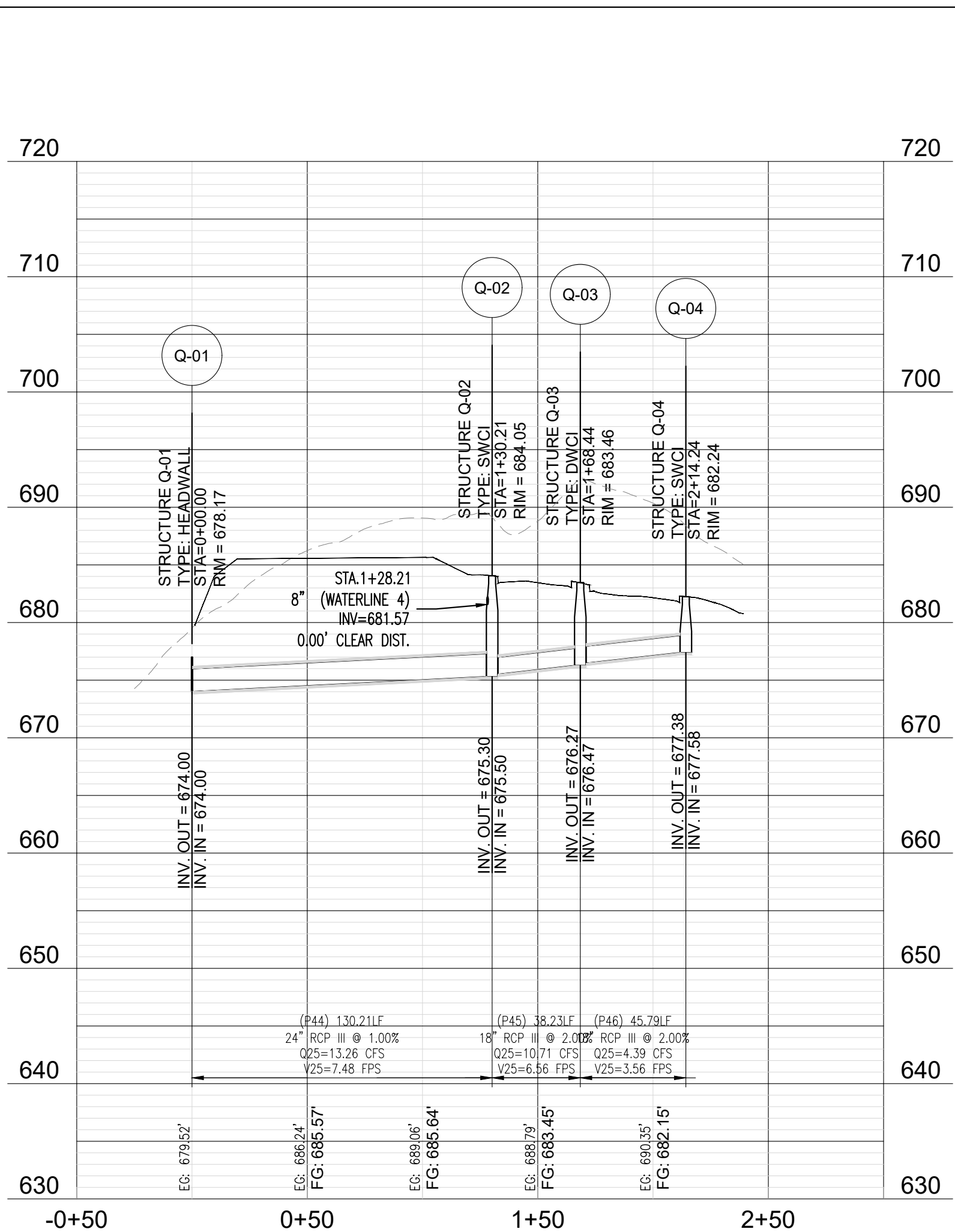
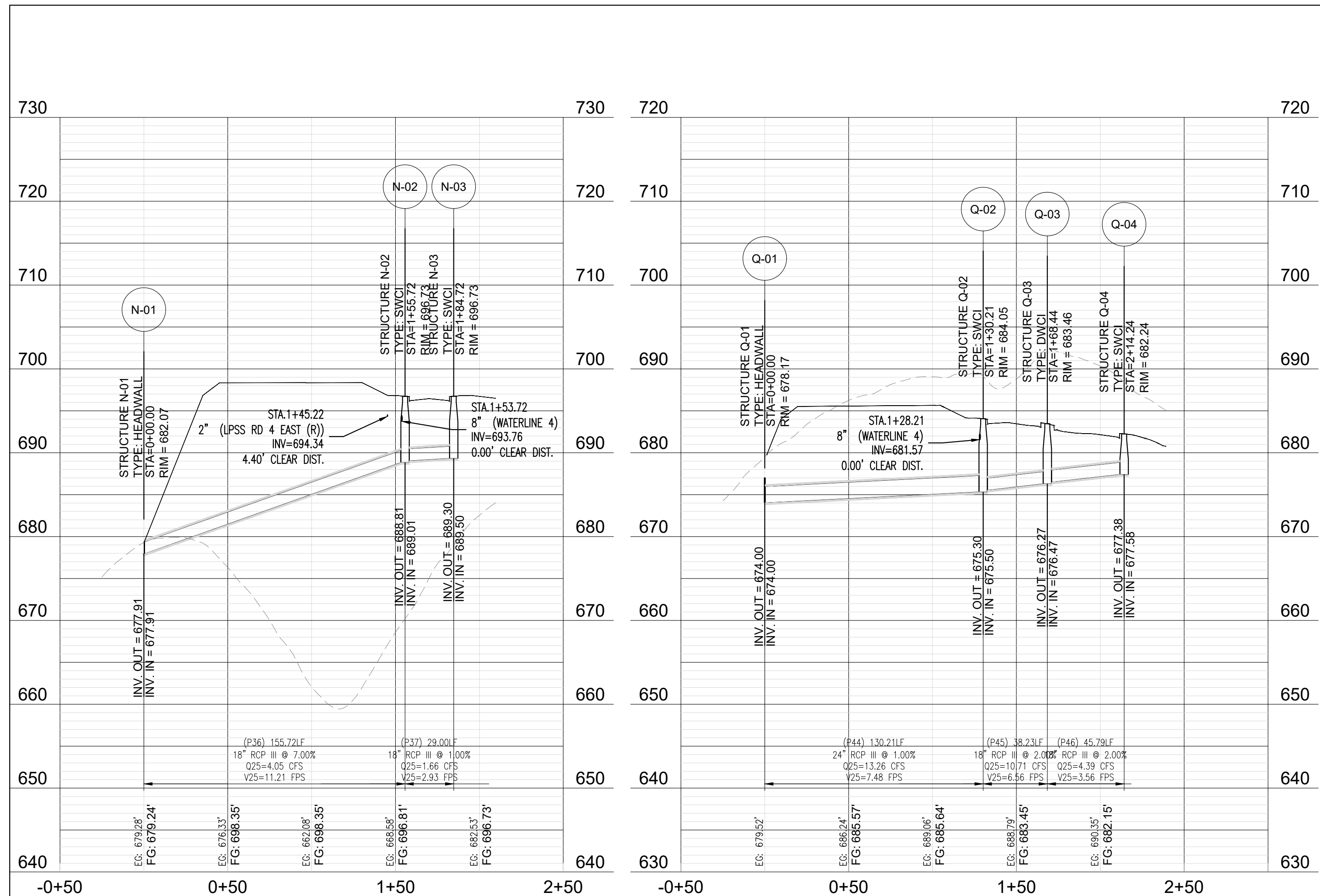
GRAND RIVER SOUTH RESIDENTIAL - PHASE THREE

A PROPOSED USS COMMUNITY
CITY OF LEEDS, AL

DRAWING ISSUE	
DESCRIPTION	DATE

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C5.07	
SCALE	
1" = 50'	
SHEET	
46 of 75	
DRAWN:	CHECKED:
BDT	BDT
DATE: JANUARY 23, 2024	
Job # 002-21	

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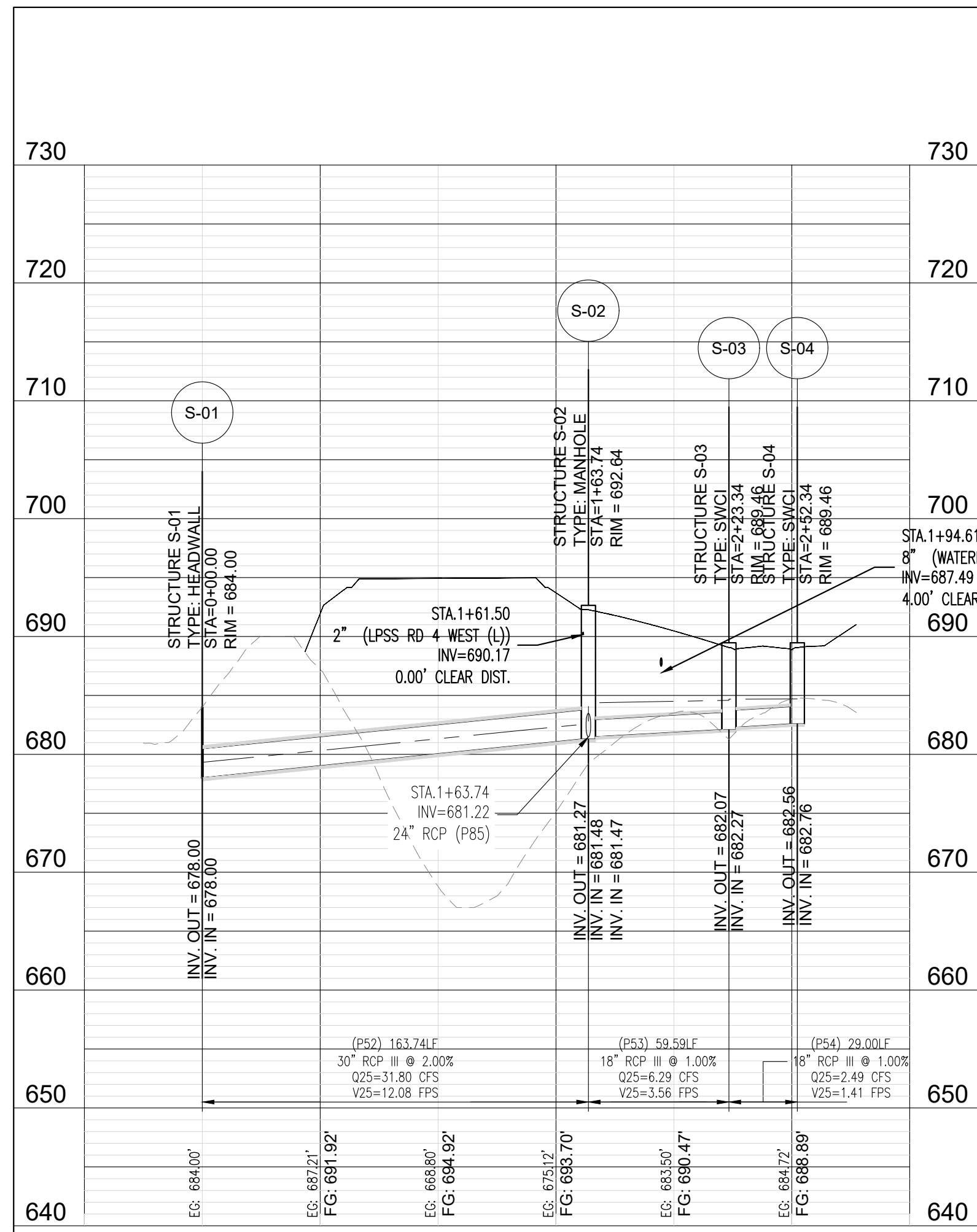
GRAND RIVER SOUTH RESIDENTIAL - PHASE THREE

A PROPOSED USS COMMUNITY
 CITY OF LEEDS, AL

DRAWING ISSUE	
DESCRIPTION	DATE

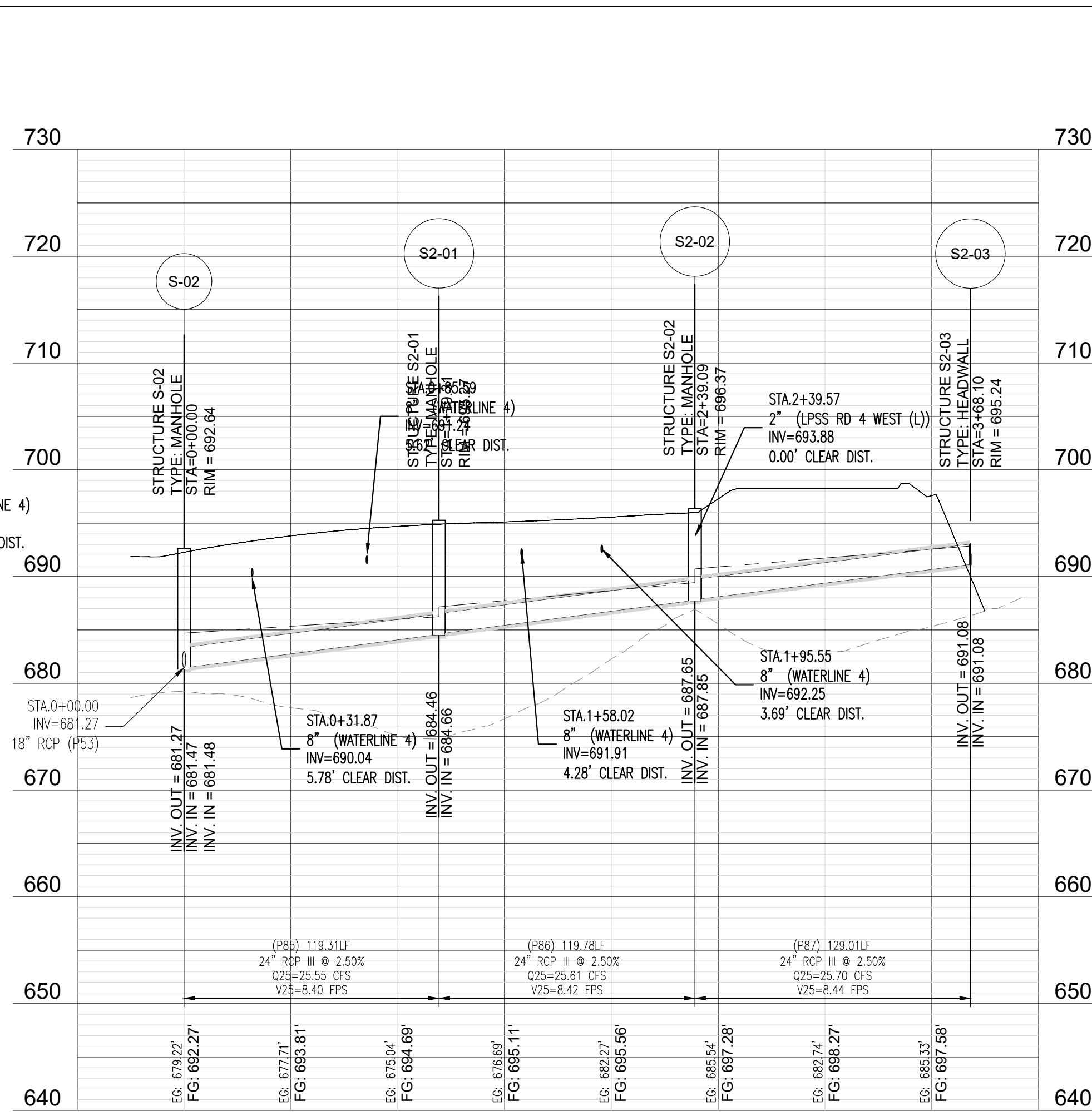
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47 of 75	
DRAWN:	CHECKED:
BDT	BDT
DATE: JANUARY 23, 2024	
Job # 002-21	

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 ISSUED FOR PERMITTING
 DATE: JANUARY 23, 2024



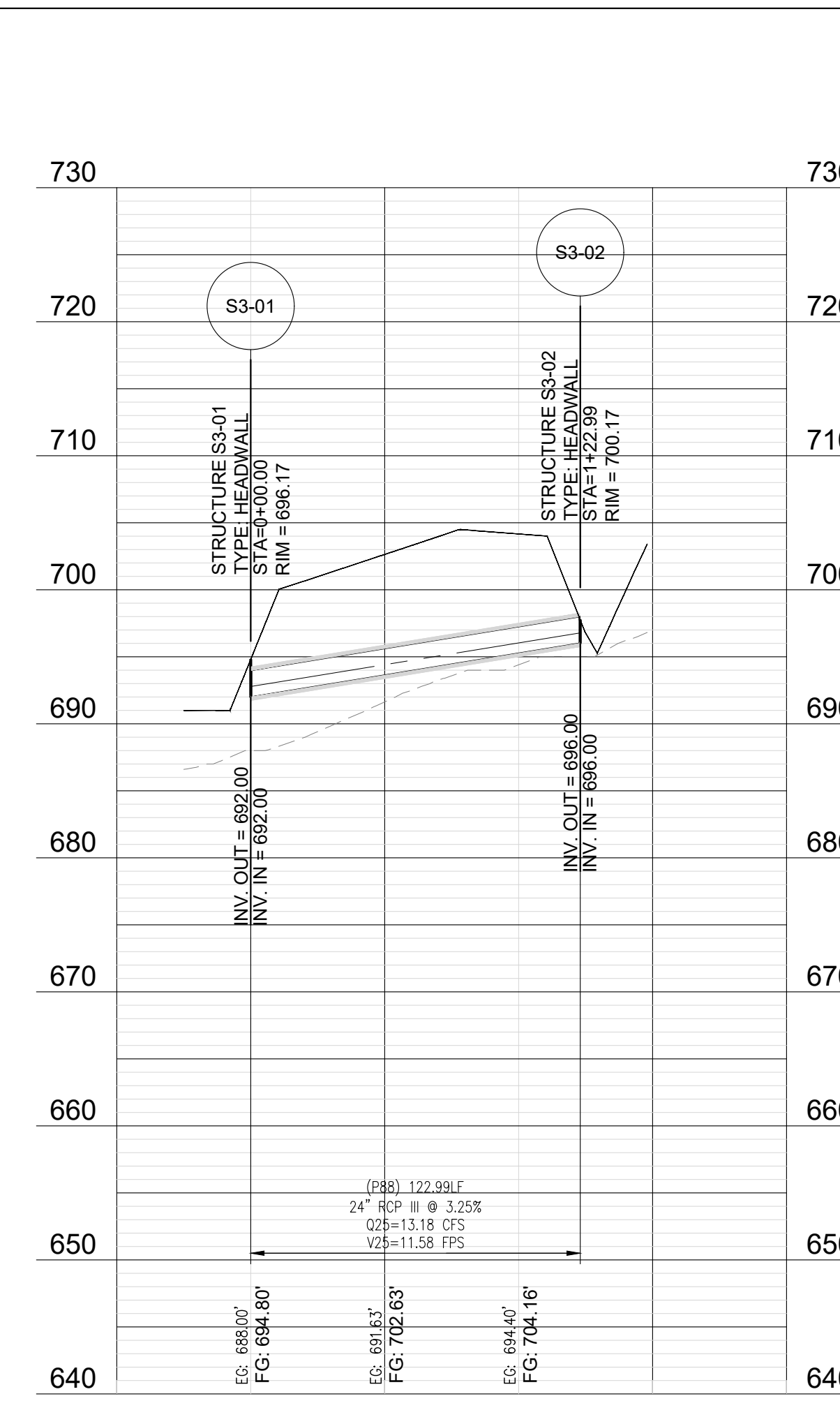
PROFILE: STORM LINE 'S'

Scale: 1"=50'H / 1"=10'V



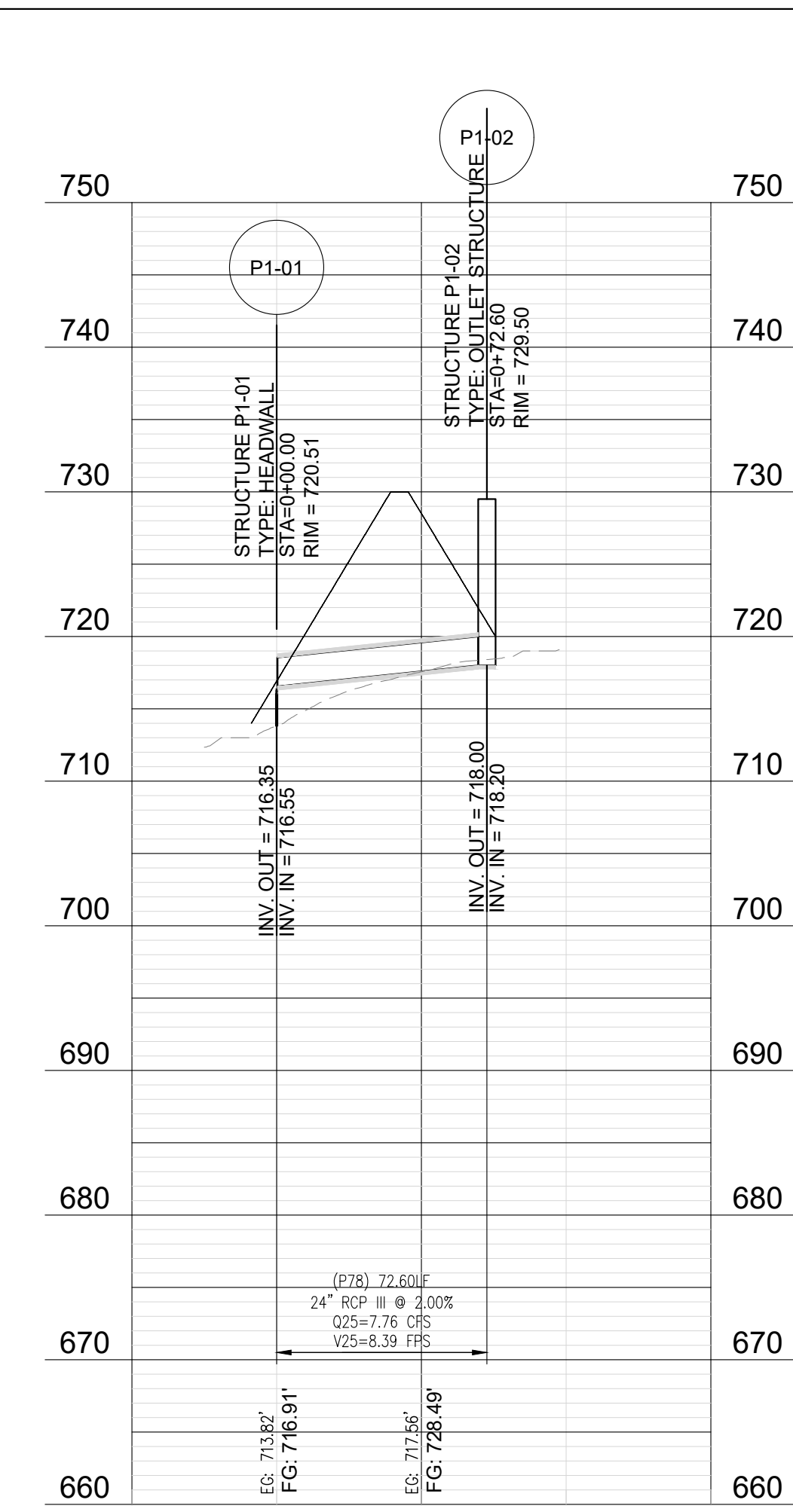
PROFILE: STORM LINE 'S2'

Scale: 1"=50'H / 1"=10'V



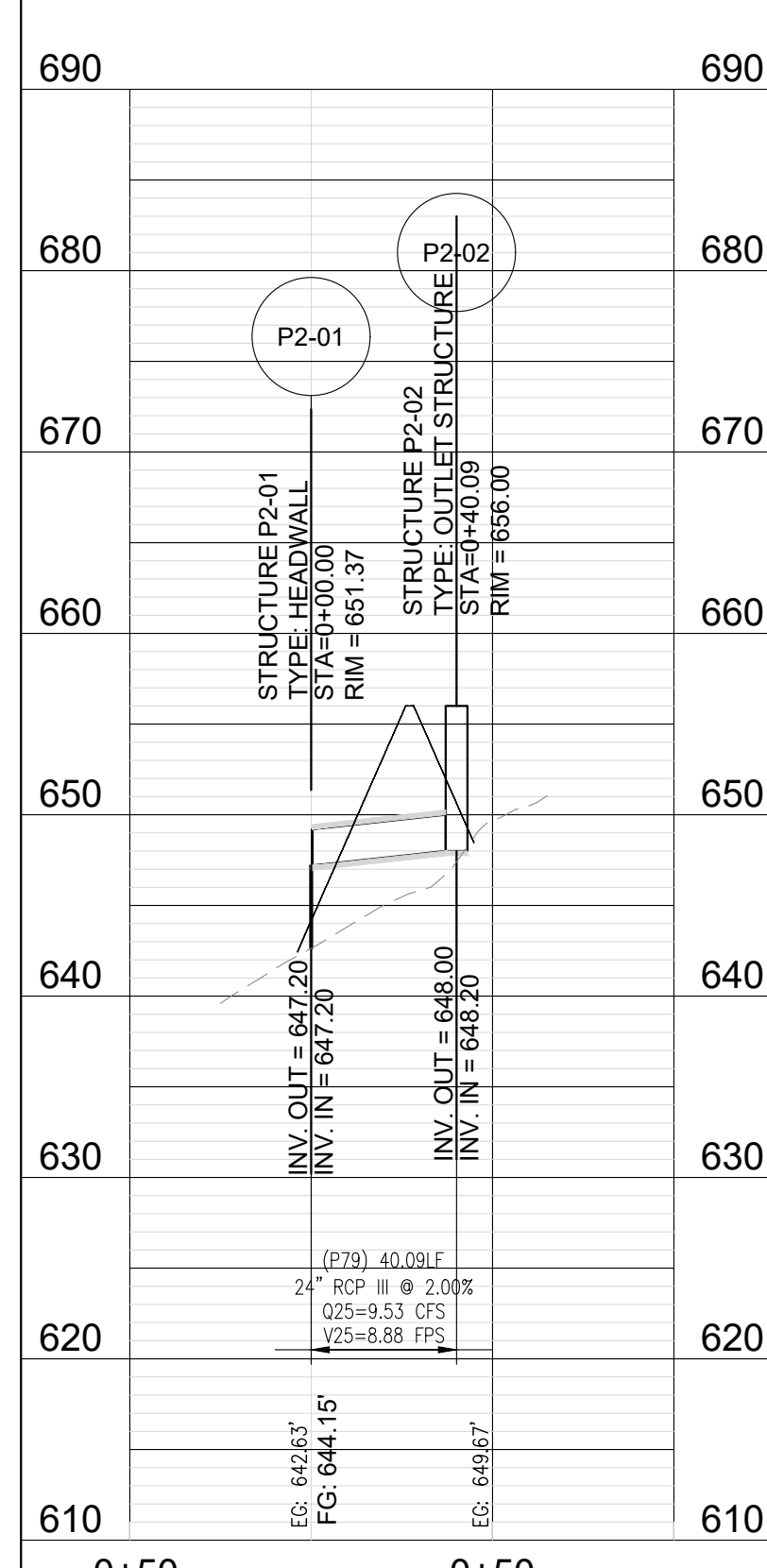
PROFILE: STORM LINE 'S3'

Scale: 1"=50'H / 1"=10'V



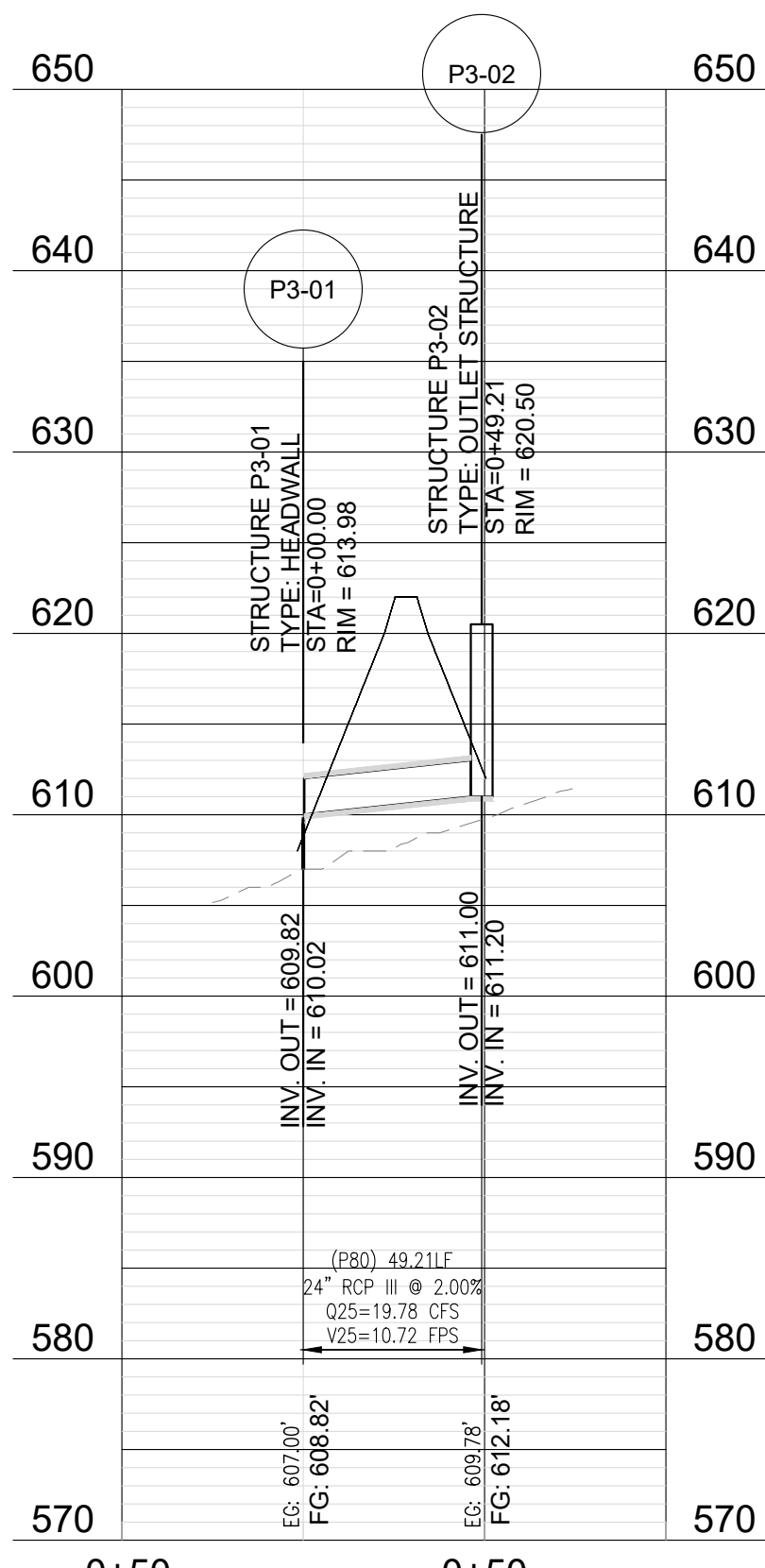
PROFILE: STORM LINE 'P1'

Scale: 1"=50'H / 1"=10'V



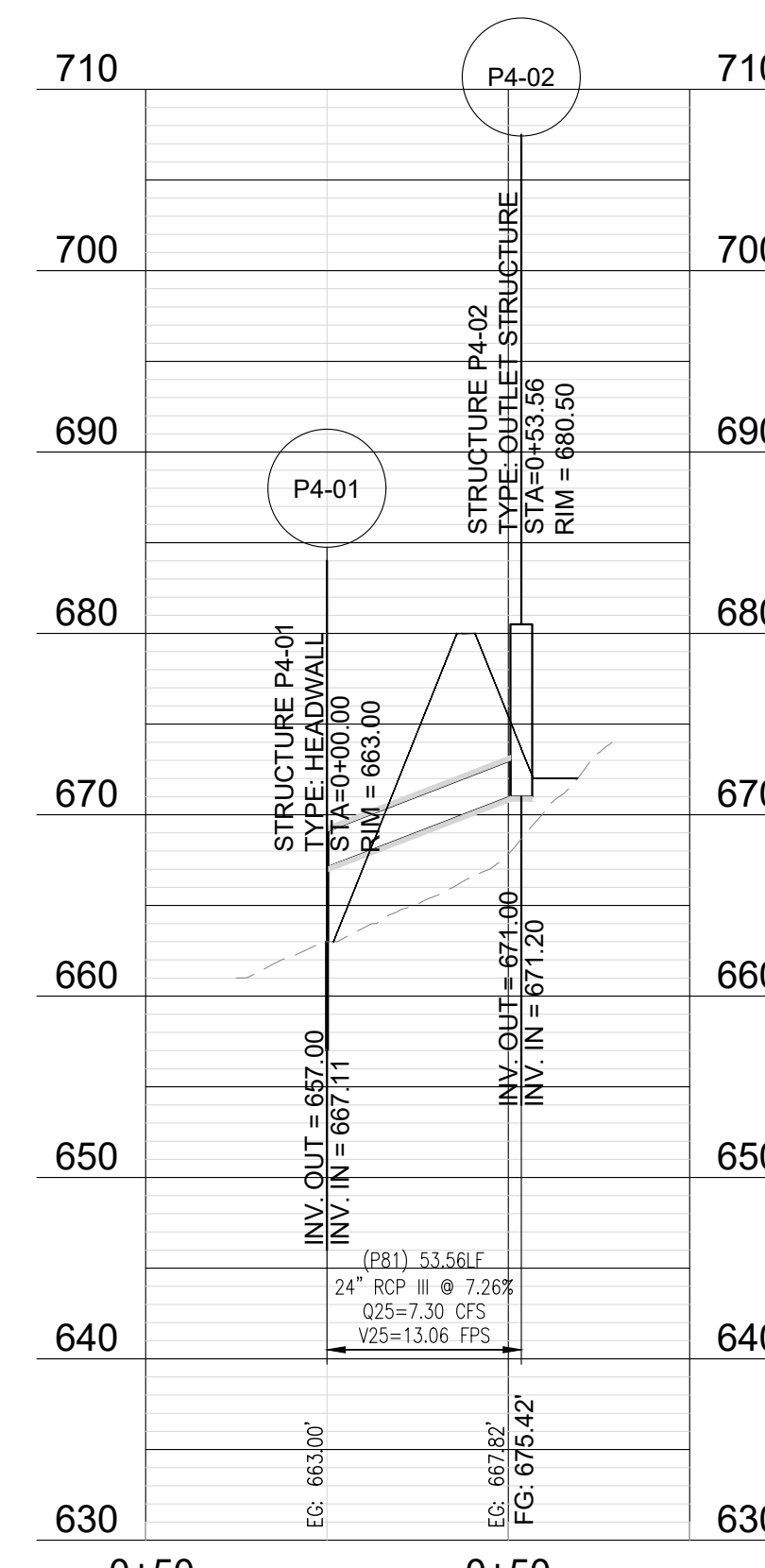
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Scale: 1"=50'H / 1"=10'V



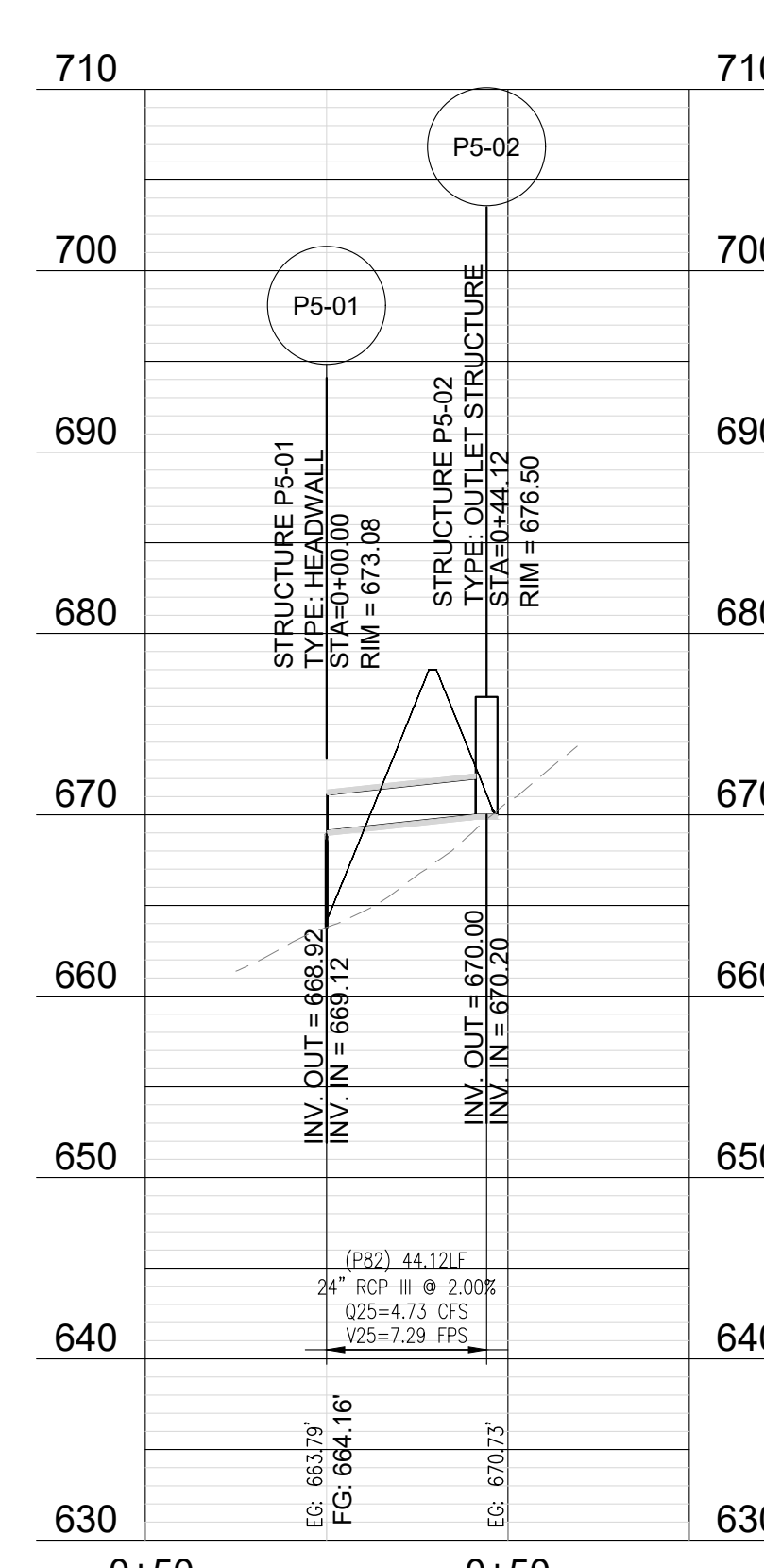
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Scale: 1"=50'H / 1"=10'V



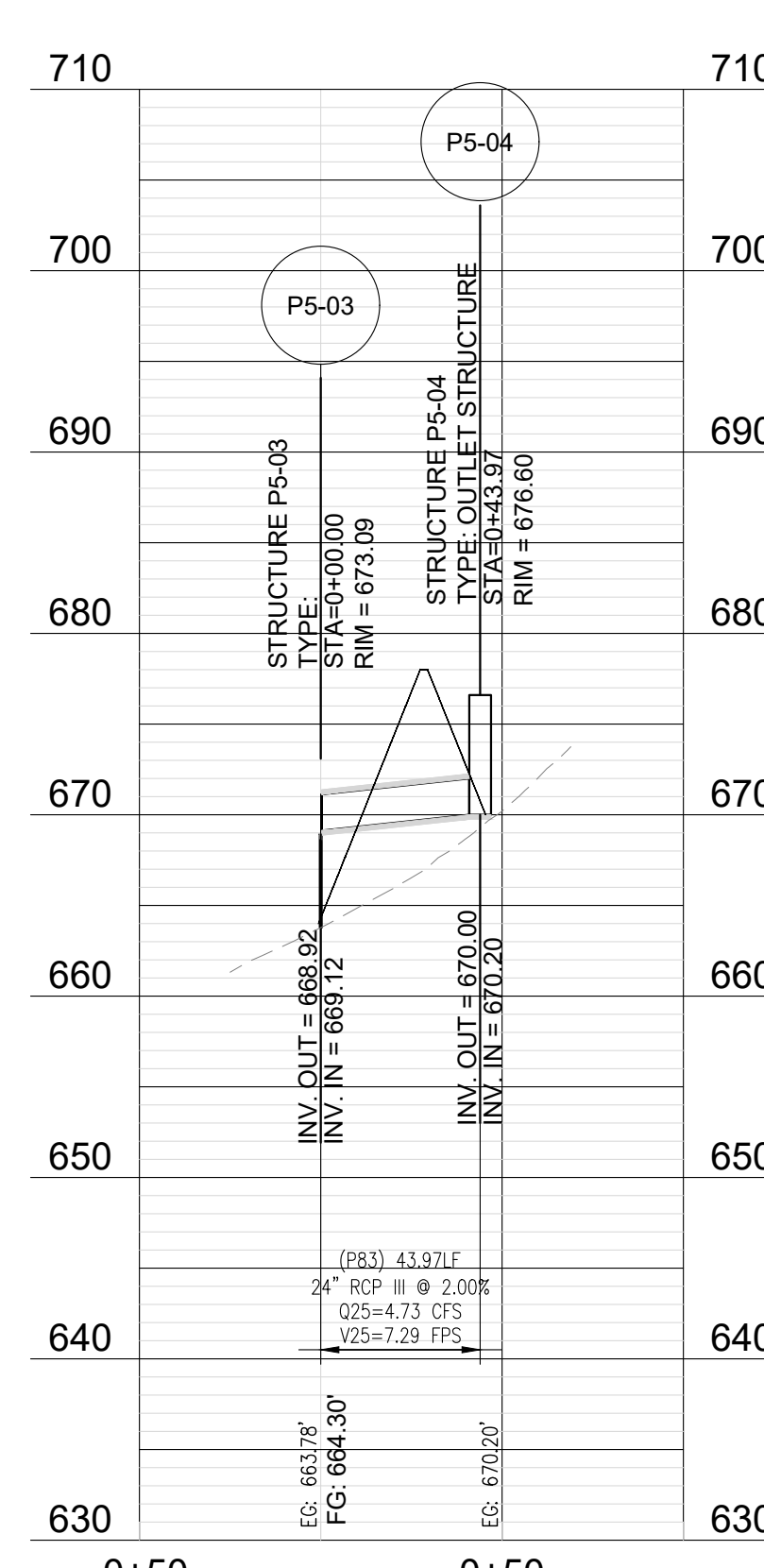
PROFILE: STORM LINE 'P4'

Scale: 1"=50'H / 1"=10'V



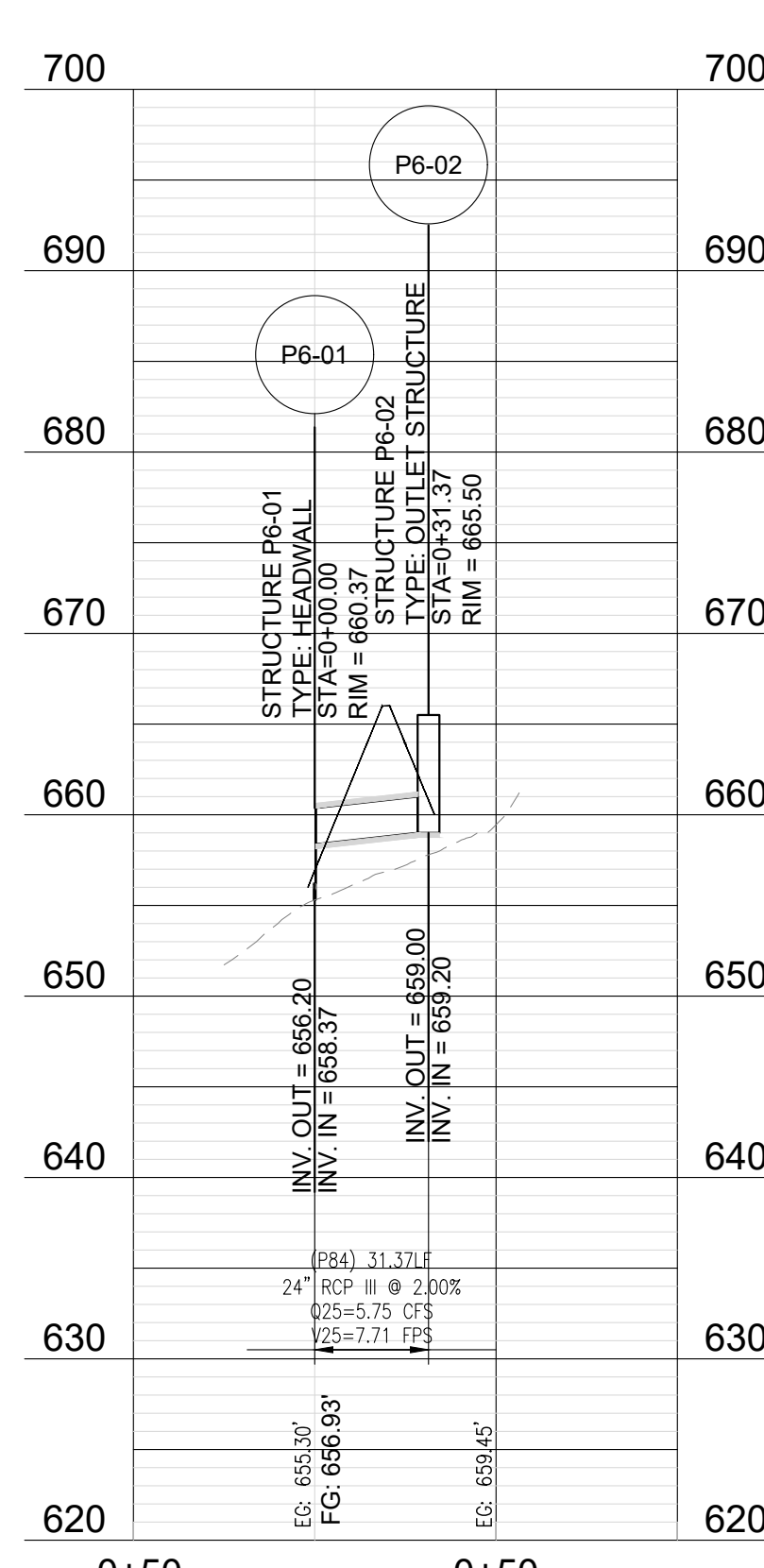
PROFILE: STORM LINE 'P5A'

Scale: 1"=50'H / 1"=10'V



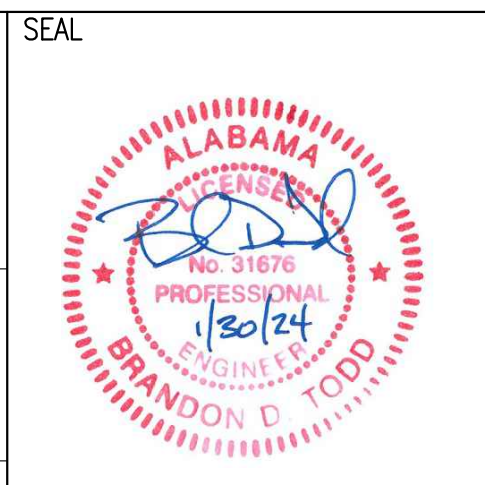
PROFILE: STORM LINE 'P5B'

Scale: 1"=50'H / 1"=10'V



PROFILE: STORM LINE 'P6'

Scale: 1"=50'H / 1"=10'V



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GRAND RIVER SOUTH RESIDENTIAL - PHASE THREE

A PROPOSED USS COMMUNITY
 CITY OF LEEDS, AL

DRAWING ISSUE	
DESCRIPTION	DATE

DRAWING TITLE
POND OUTLET STRUCTURES

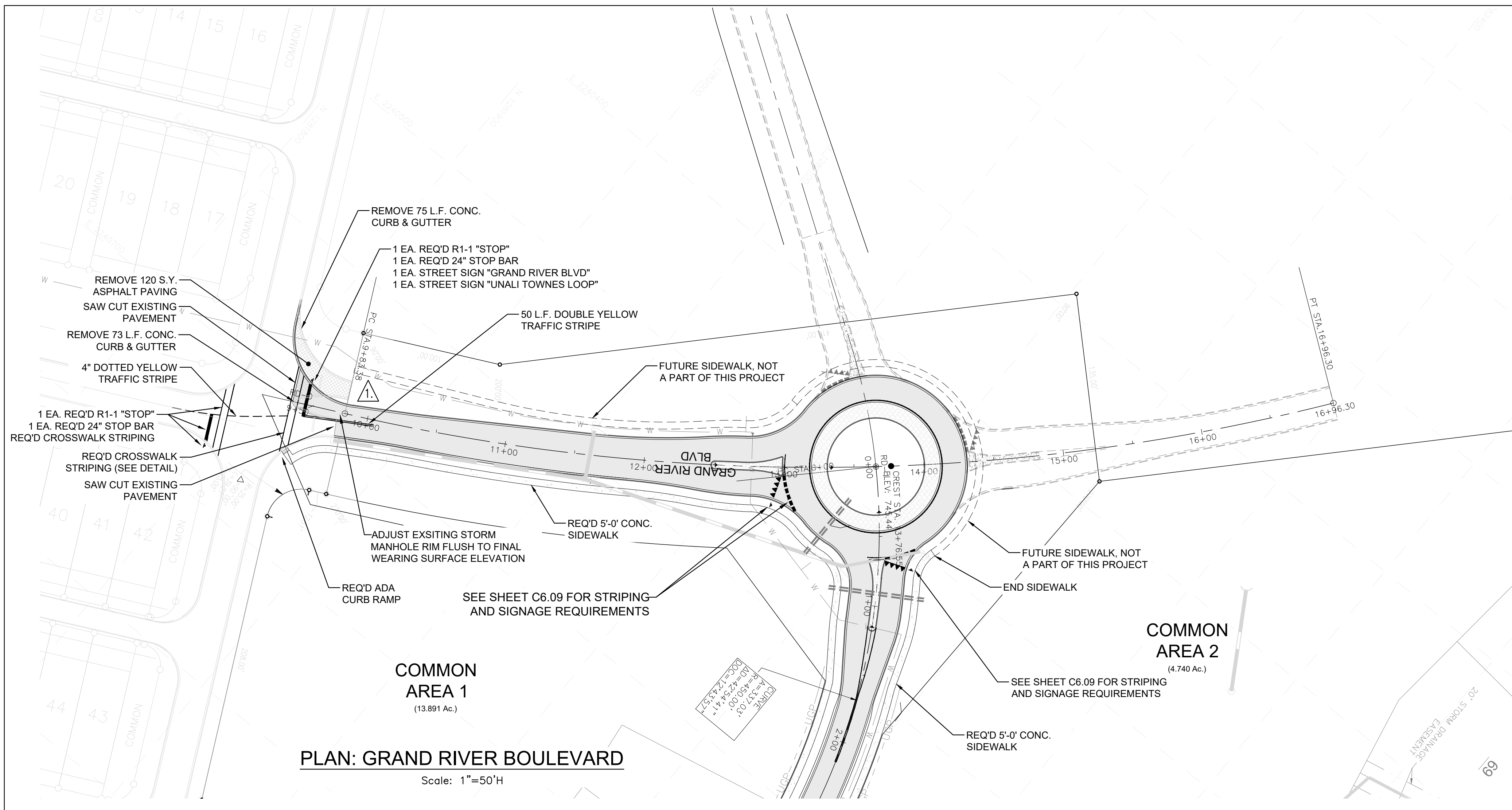
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C5.09

SCALE
 1" = 50'

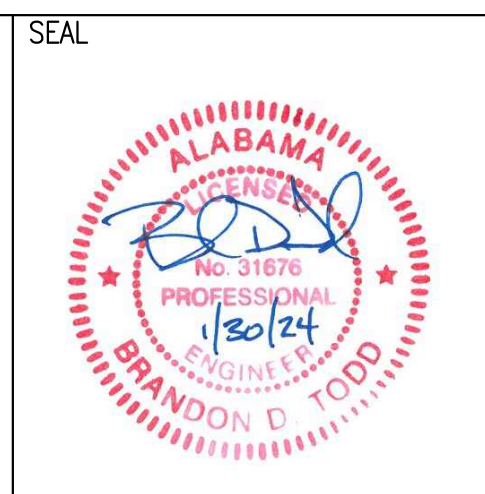
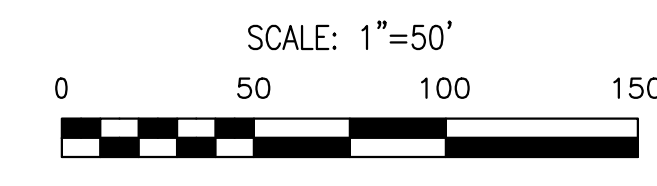
SHEET
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DRAWN: BDT
 CHECKED: BDT
 Job # 002-21

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 DATE: JANUARY 23, 2024



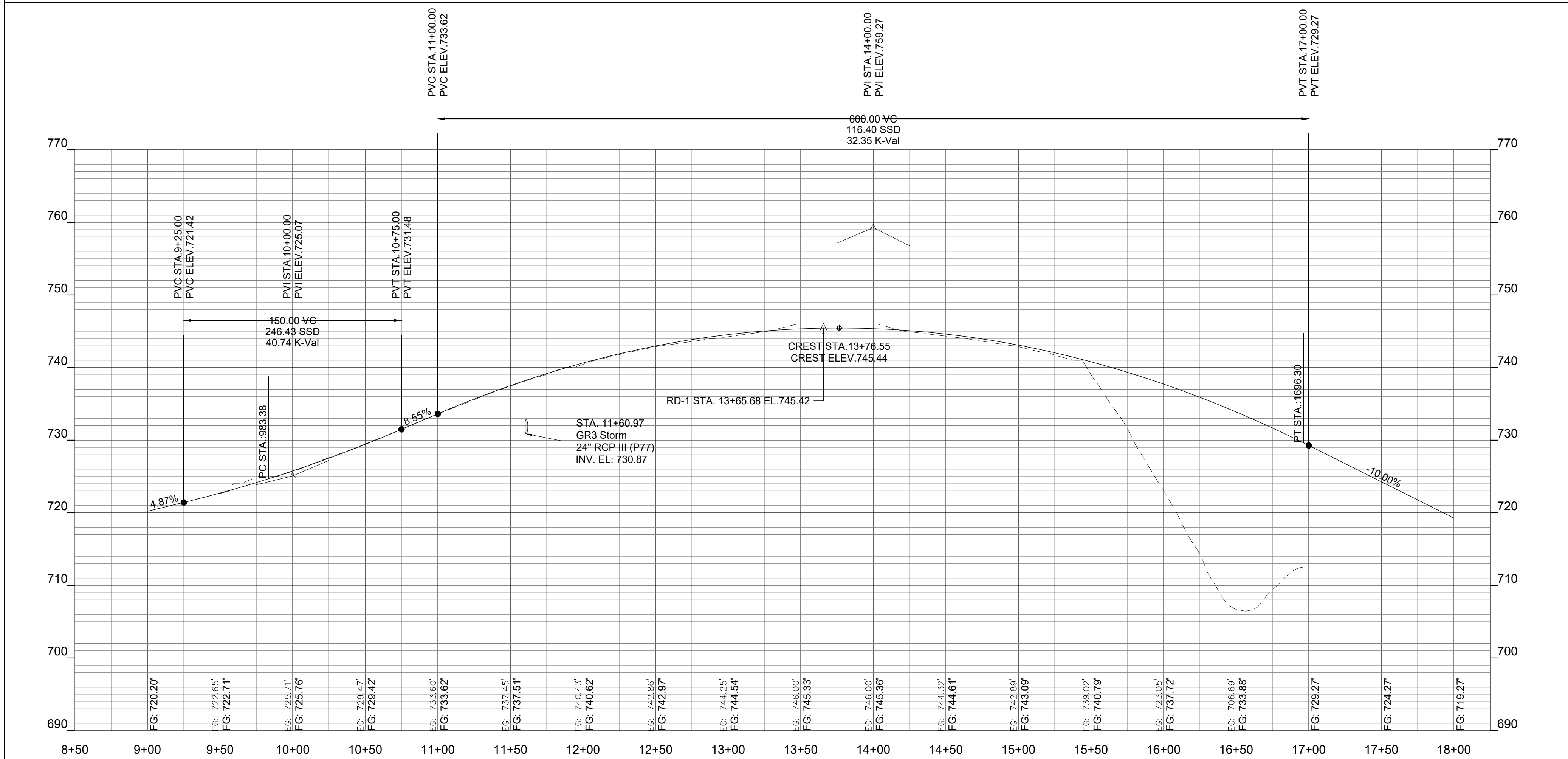
PLAN: GRAND RIVER BOULEVARD
Scale: 1"=50'H



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**GRAND RIVER SOUTH
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A PROPOSED USS COMMUNITY
CITY OF LEEDS, AL



PROFILE: WOHALI DRIVE
Scale: 1"=50'H / 1"=10'V

DRAWING ISSUE	
DESCRIPTION	DATE
01. REVISED TIE TO G.R. BLVD.	2/16/2024

DRAWING TITLE
**PLAN/PROFILE:
GRAND RIVER BLVD**

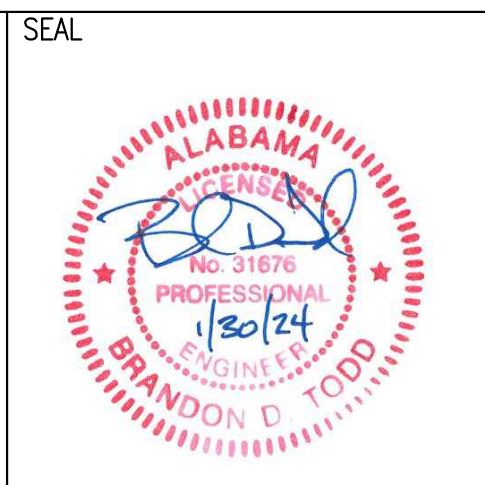
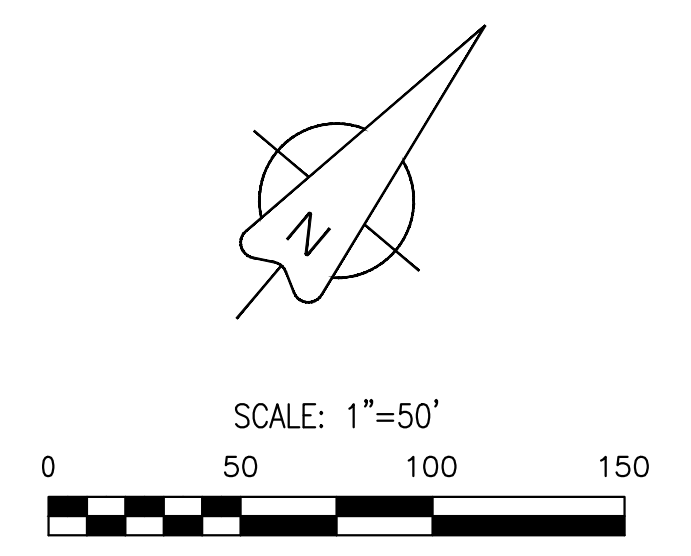
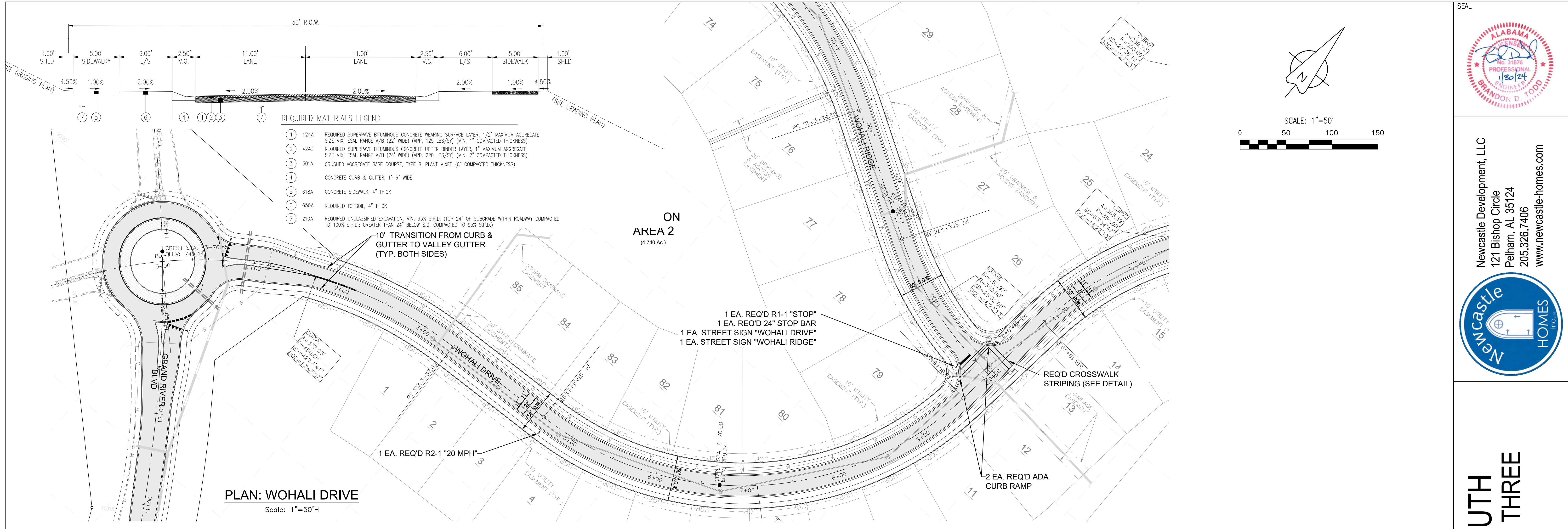
DRAWING NO.
C6.01

SCALE
1" = 50'

SHEET
50 of 75

DRAWN: BDT
CHECKED: BDT
Job # **002-21**

NOT FOR CONSTRUCTION
ISSUED FOR PERMITTING
DATE: JANUARY 23, 2024

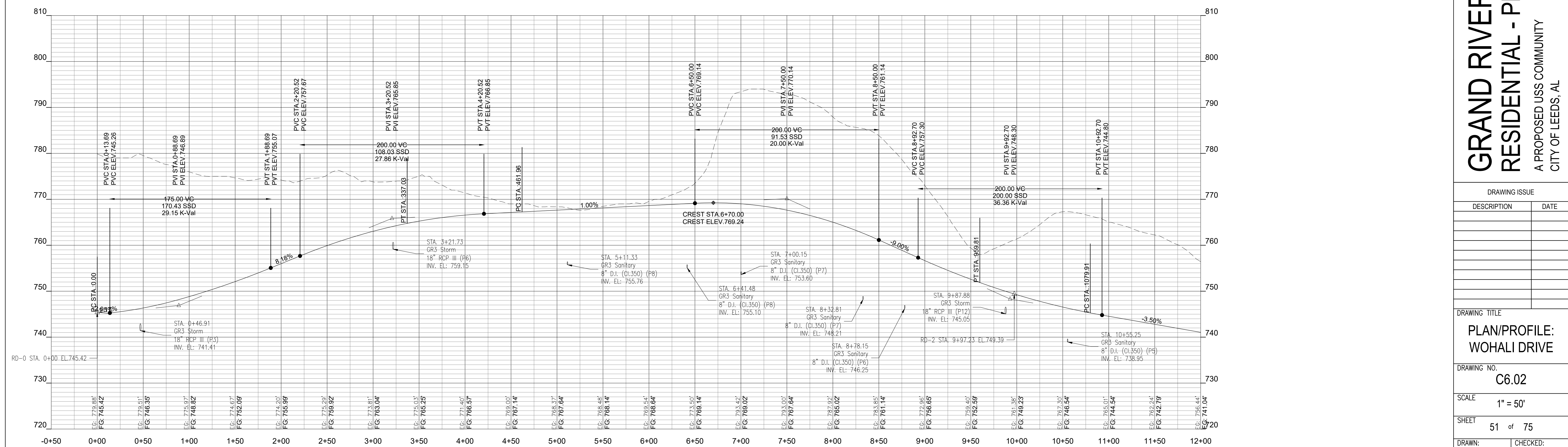


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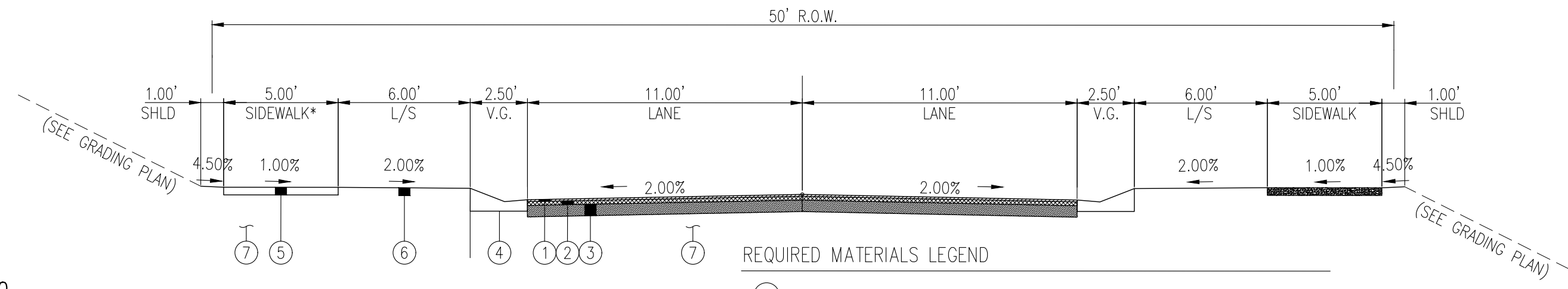
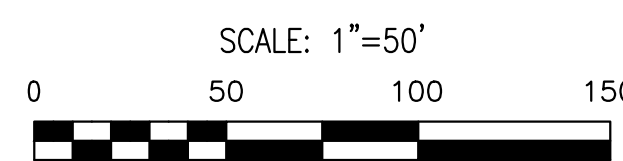
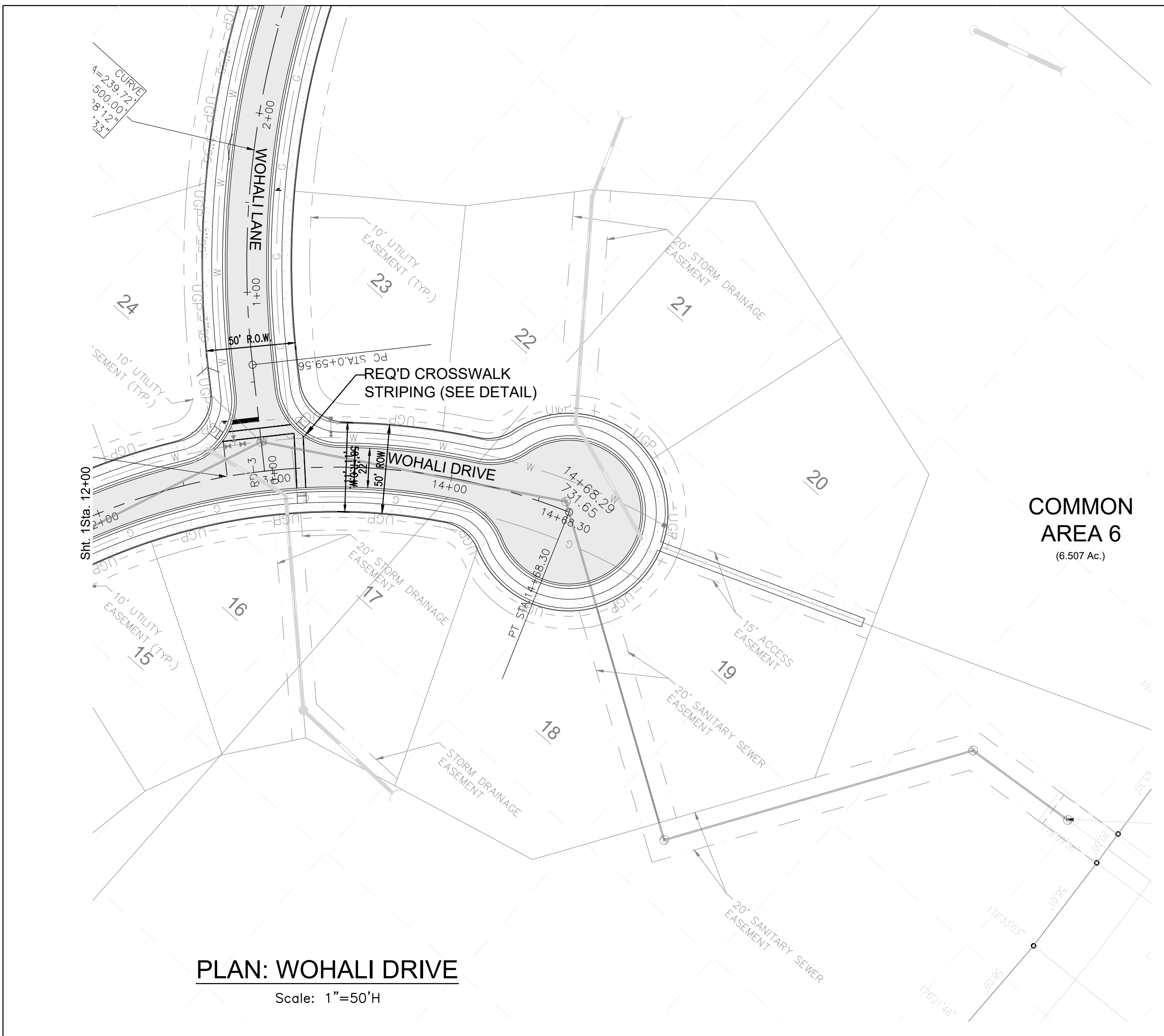
A PROPOSED USS COMMUNITY
CITY OF LEEDS, AL



DRAWING ISSUE	
DESCRIPTION	DATE

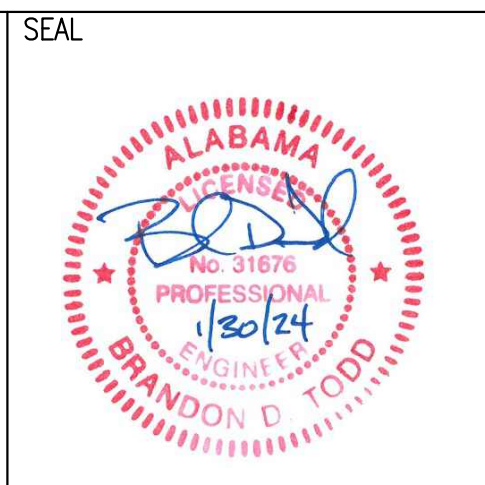
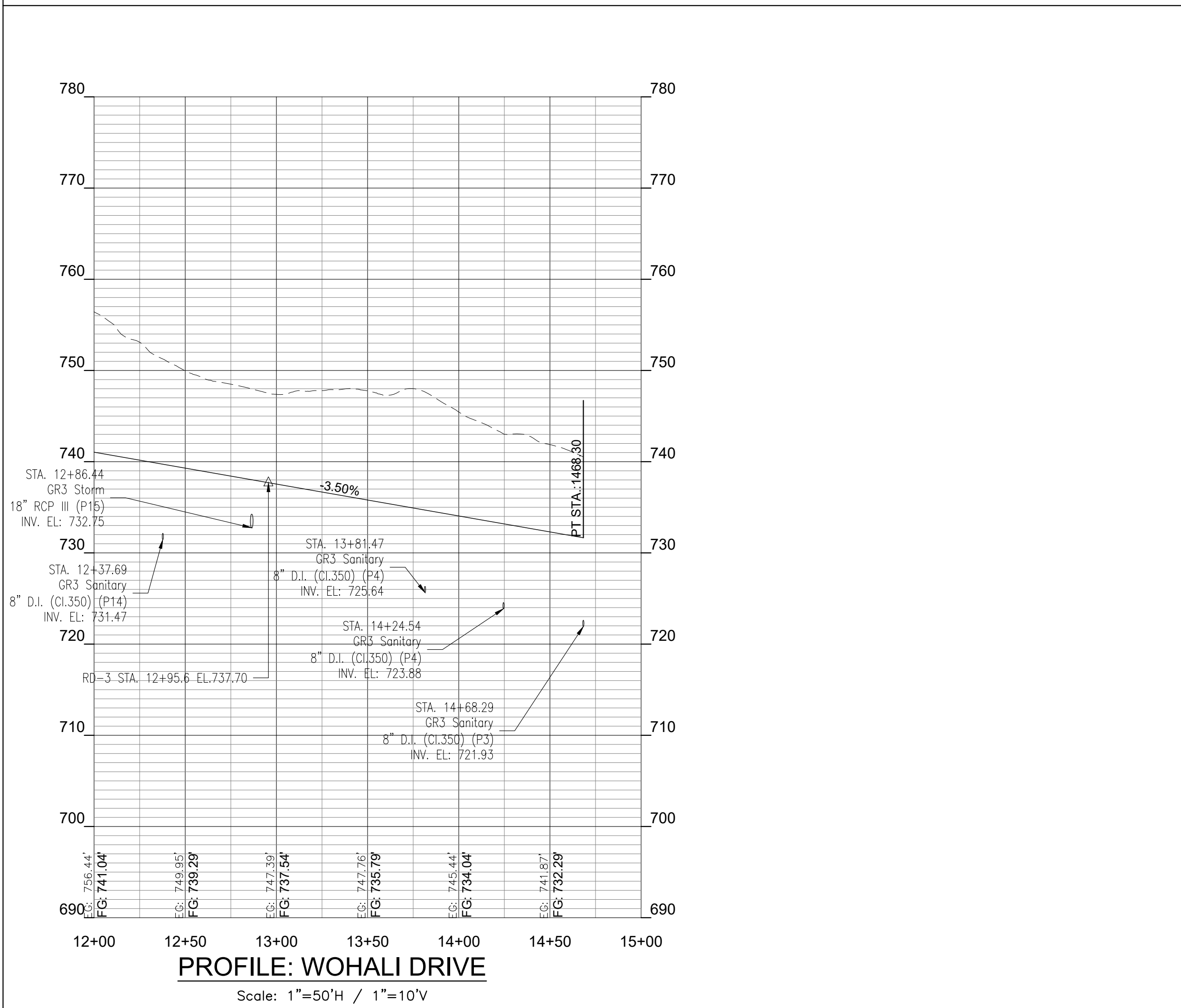
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PLAN/PROFILE: WOHALI DRIVE	
DRAWING NO. C6.02	
SCALE 1" = 50'	
SHEET 51 of 75	
DRAWN: BDT	CHECKED: BDT

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DATE: JANUARY 23, 2024
Job # 002-21



- REQUIRED MATERIALS LEGEND**
- ① 424A REQUIRED SUPERPAVE BITUMINOUS CONCRETE WEARING SURFACE LAYER, 1 1/2" MAXIMUM AGGREGATE SIZE MIX, ESAL RANGE A/B (22" WIDE) (APP. 125 LBS/SY) (MIN. 1" COMPACTED THICKNESS)
 - ② 424B REQUIRED SUPERPAVE BITUMINOUS CONCRETE UPPER BINDER LAYER, 1" MAXIMUM AGGREGATE SIZE MIX, ESAL RANGE A/B (24" WIDE) (APP. 220 LBS/SY) (MIN. 2" COMPACTED THICKNESS)
 - ③ 301A CRUSHED AGGREGATE BASE COURSE, TYPE B, PLANT MIXED (8" COMPACTED THICKNESS)
 - ④ CONCRETE CURB & GUTTER, 1'-6" WIDE
 - ⑤ 618A CONCRETE SIDEWALK, 4" THICK
 - ⑥ 650A REQUIRED TOPSOIL, 4" THICK
 - ⑦ 210A REQUIRED UNCLASSIFIED EXCAVATION, MIN. 95% S.P.D. (TOP 24" OF SUBGRADE WITHIN ROADWAY COMPACTED TO 100% S.P.D.; GREATER THAN 24" BELOW S.G. COMPACTED TO 95% S.P.D.)

ROADWAY TYPICAL SECTION
Scale: NONE



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**GRAND RIVER SOUTH
RESIDENTIAL - PHASE THREE**
A PROPOSED USS COMMUNITY
CITY OF LEEDS, AL

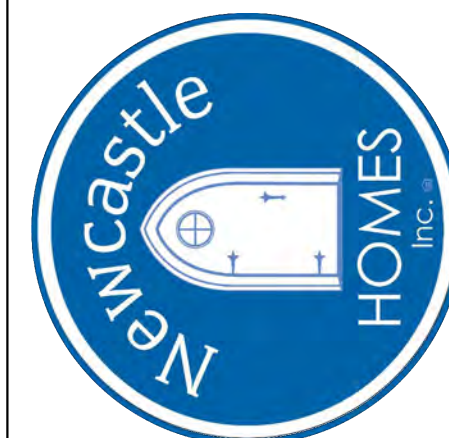
DRAWING ISSUE	
DESCRIPTION	DATE

DRAWING TITLE	
PLAN/PROFILE: WOHALI DRIVE	
DRAWING NO. C6.03	
SCALE 1" = 50'	
SHEET 52 of 75	
DRAWN: BDT	CHECKED: BDT
Job # 002-21	

NOT FOR CONSTRUCTION
ISSUED FOR PERMITTING
DATE: JANUARY 23, 2024



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CITY OF LEEDS, AL

DRAWING ISSUE	
DESCRIPTION	DATE

DRAWING TITLE
**PLAN/PROFILE:
WOHALI RIDGE**

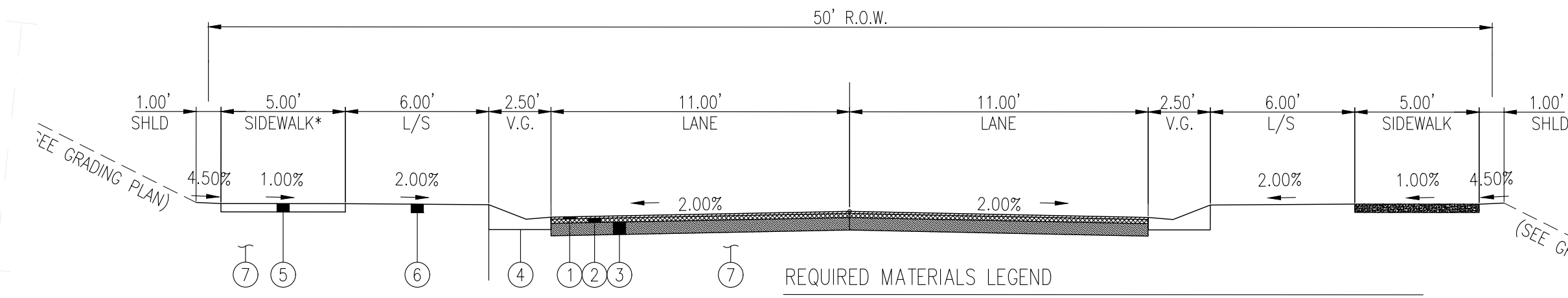
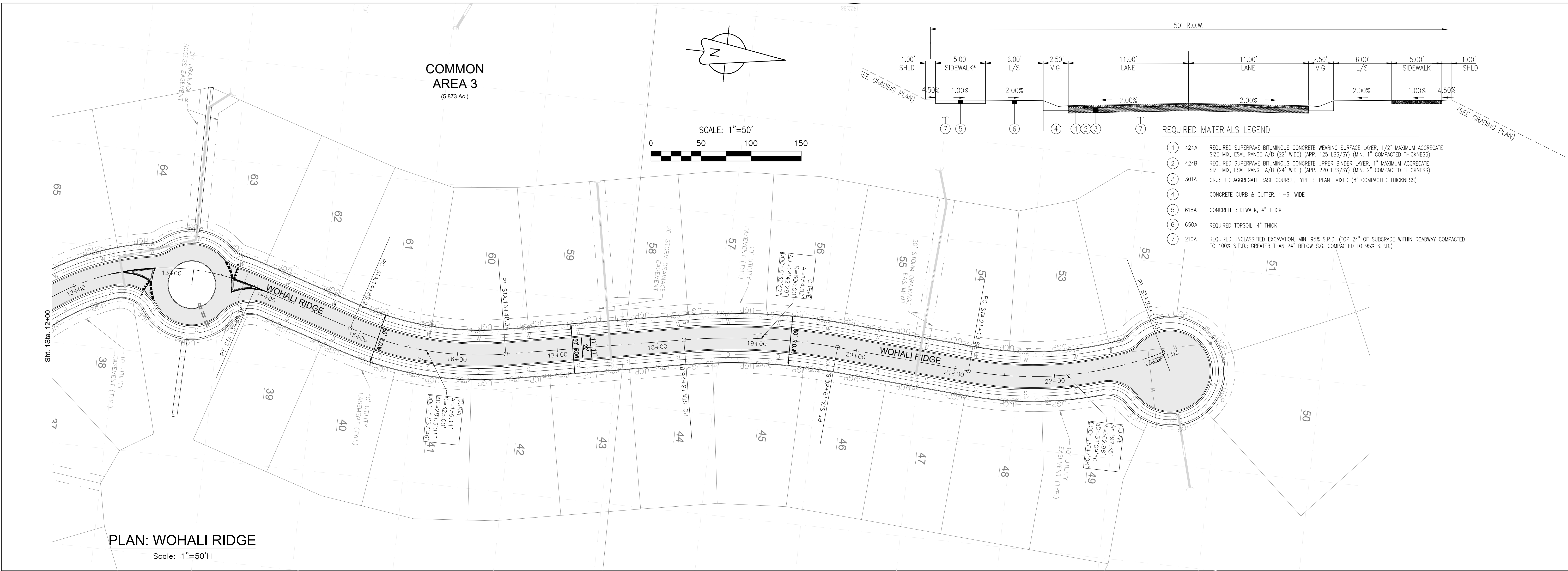
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SCALE
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SHEET
54 of 75

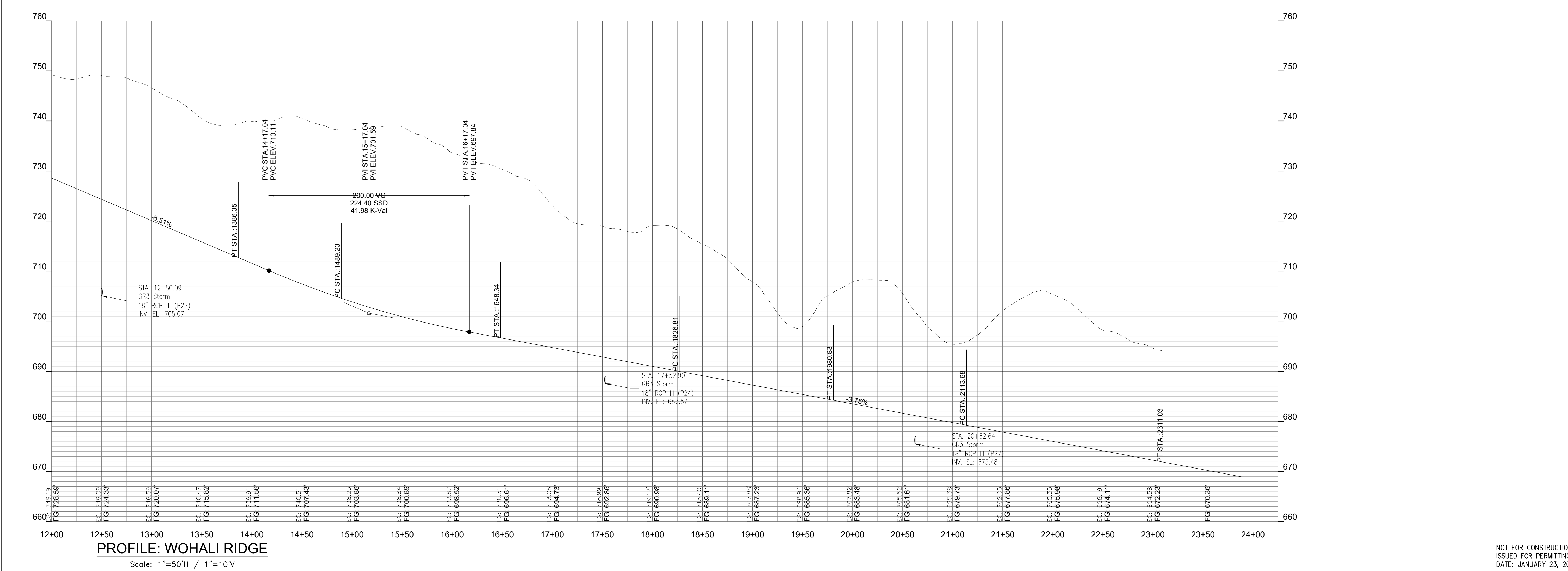
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CHECKED: BDT
Job # 002-21

NOT FOR CONSTRUCTION
ISSUED FOR PERMITTING
DATE: JANUARY 23, 2024

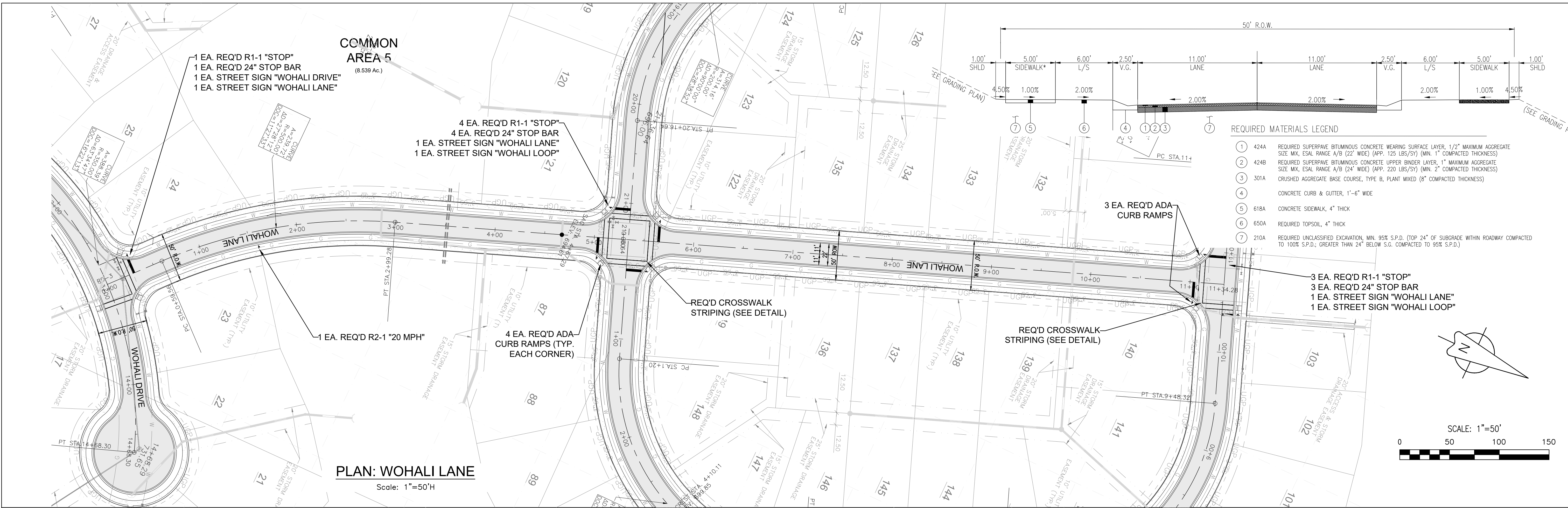


- REQUIRED MATERIALS LEGEND**
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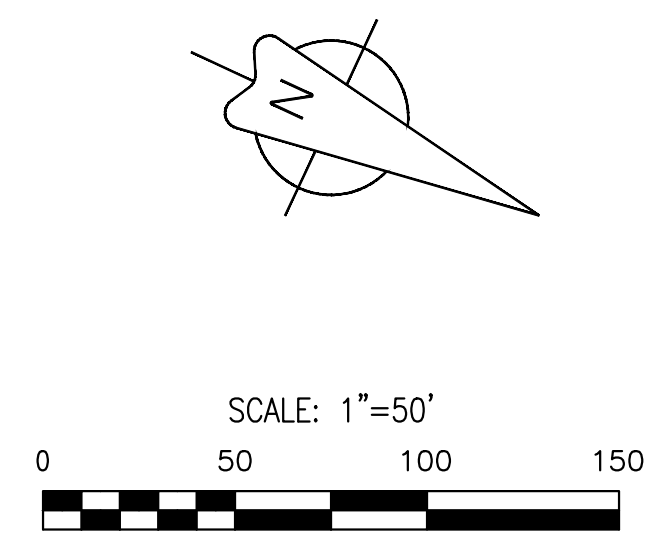
PLAN: WOHALI RIDGE
Scale: 1"=50'H



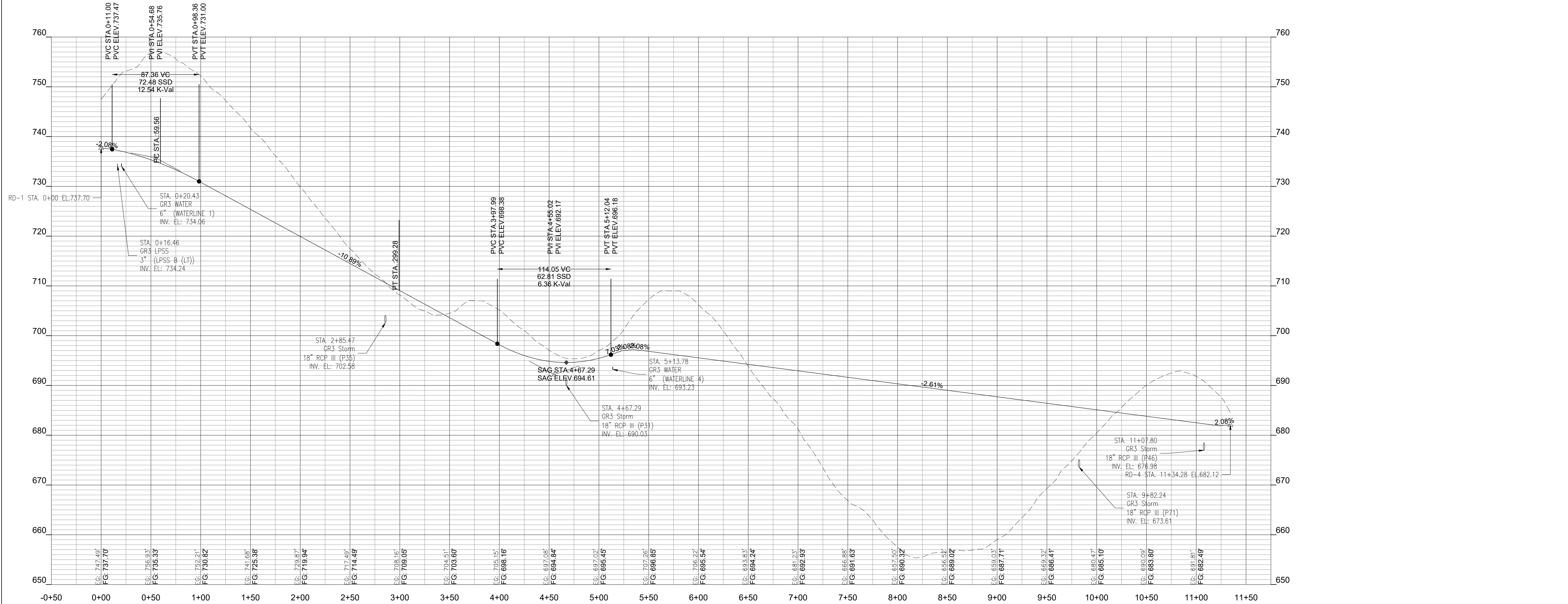
PROFILE: WOHALI RIDGE
Scale: 1"=50'H / 1"=10'V



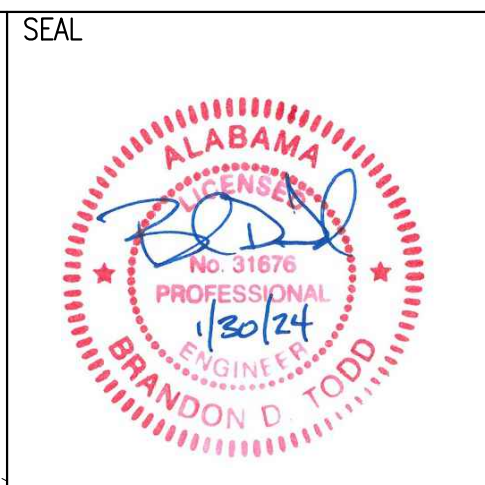
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PLAN: WOHALI LANE
Scale: 1"=50'H



PROFILE: WOHALI LANE
Scale: 1"=50'H / 1"=10'V



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**GRAND RIVER SOUTH
RESIDENTIAL - PHASE THREE**
A PROPOSED USS COMMUNITY
CITY OF LEEDS, AL

DRAWING ISSUE	
DESCRIPTION	DATE

DRAWING TITLE
**PLAN/PROFILE:
WOHALI LANE**

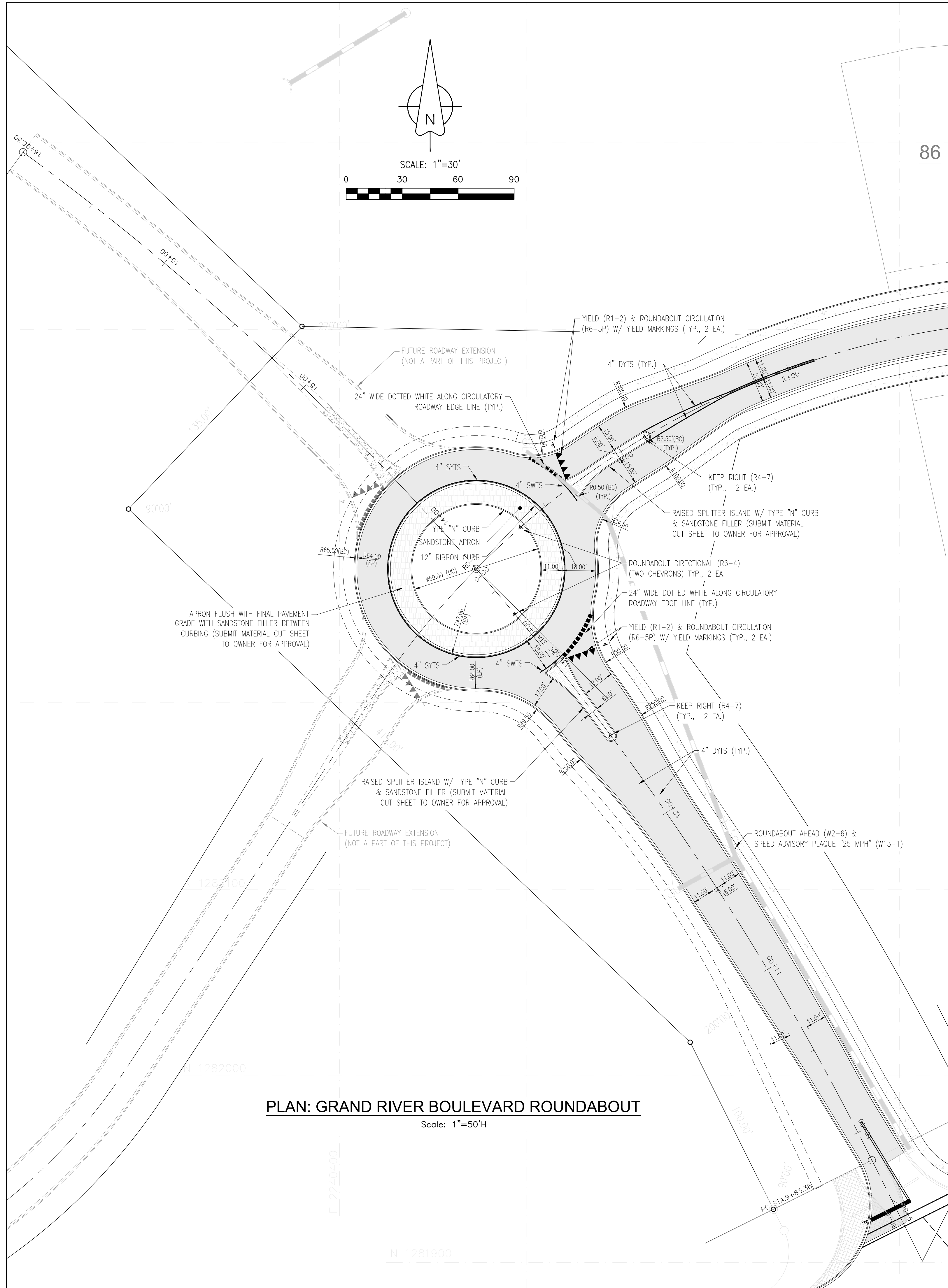
DRAWING NO.
C6.06

SCALE
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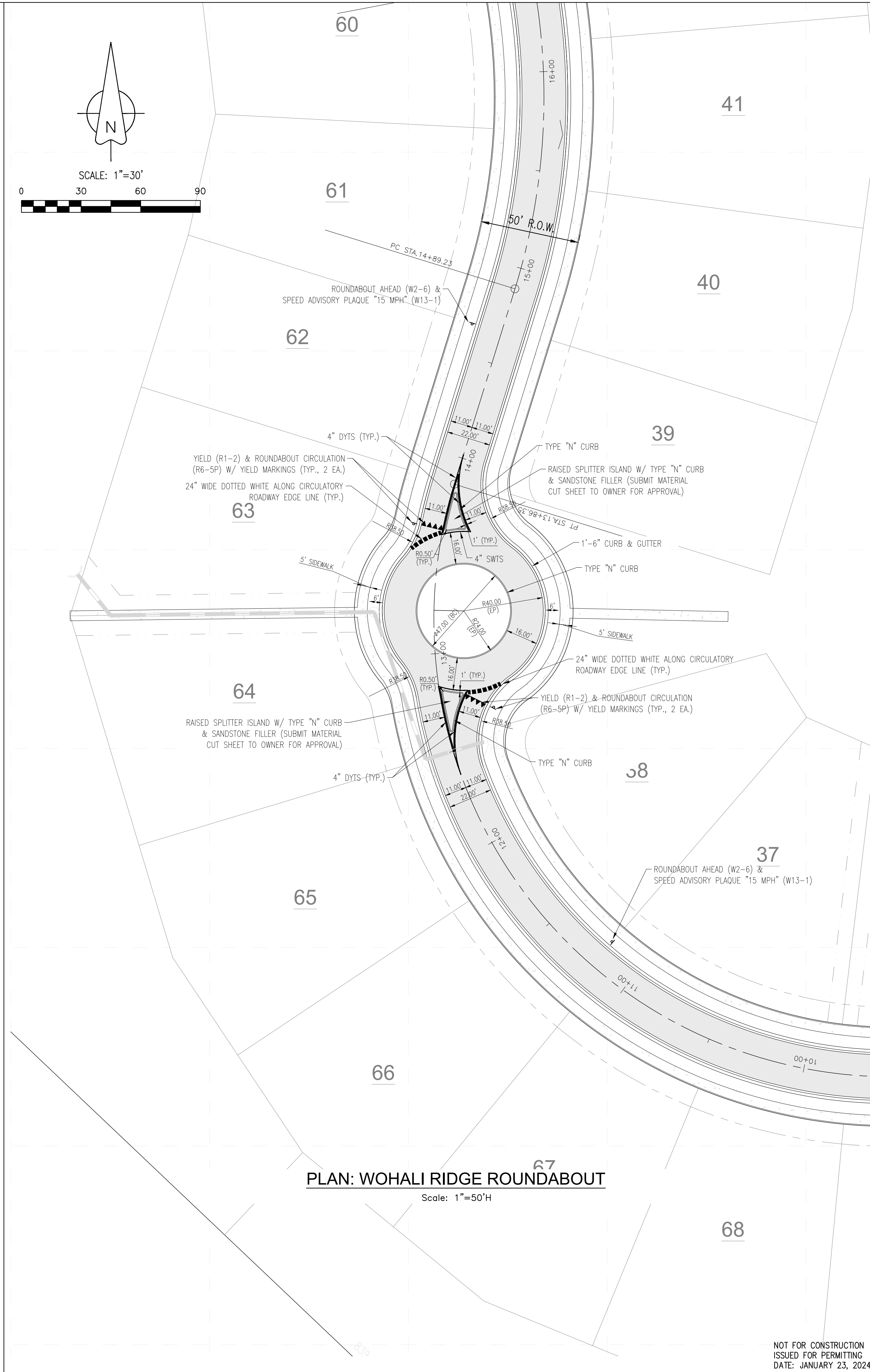
SHEET
55 of 75

DRAWN: BDT
CHECKED: BDT
Job # 002-21

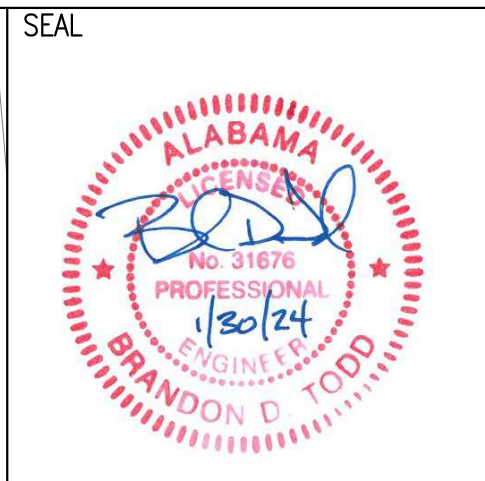
NOT FOR CONSTRUCTION
ISSUED FOR PERMITTING
DATE: JANUARY 23, 2024



PLAN: GRAND RIVER BOULEVARD ROUNDABOUT
Scale: 1"=30'H



PLAN: WOHALI RIDGE ROUNDABOUT
Scale: 1"=30'H



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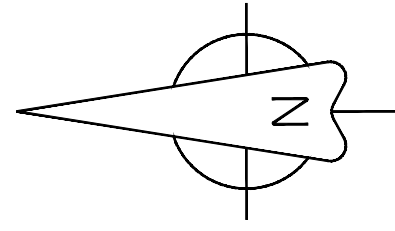
GRAND RIVER SOUTH RESIDENTIAL - PHASE THREE

A PROPOSED USS COMMUNITY
CITY OF LEEDS, AL

DRAWING ISSUE	
DESCRIPTION	DATE

DRAWING TITLE	
ROUNDABOUT LAYOUT/STRIPING	
DRAWING NO.	
C6.09	
SCALE	
1" = 30'	
SHEET	
58 of 75	
DRAWN:	CHECKED:
BDT	BDT
Job # 002-21	

NOT FOR CONSTRUCTION
ISSUED FOR PERMITTING
DATE: JANUARY 23, 2024



SCALE: 1"=100'



AREA "E"
AREA "D"
AREA "B"
AREA "C"
AREA "A"

COMMON AREA 6
(6.507 Ac.)

COMMON AREA 1
(13.891 Ac.)

COMMON AREA 2
(4.740 Ac.)

COMMON AREA 5
(8.539 Ac.)

COMMON AREA 4
(7.405 Ac.)

COMMON AREA 3
(5.873 Ac.)

N.E.,
Sec. 26-T17S-R1W

N.W.,
Sec. 25-T17S-F

S.E.,
Sec. 26-T17S-R1W

L4103282825
L016422008

SEAL



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GRAND RIVER SOUTH RESIDENTIAL - PHASE THREE

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CITY OF LEEDS, AL

DRAWING ISSUE	
DESCRIPTION	DATE

DRAWING TITLE
**OVERALL
UTILITY PLAN**

DRAWING NO.
C7.00

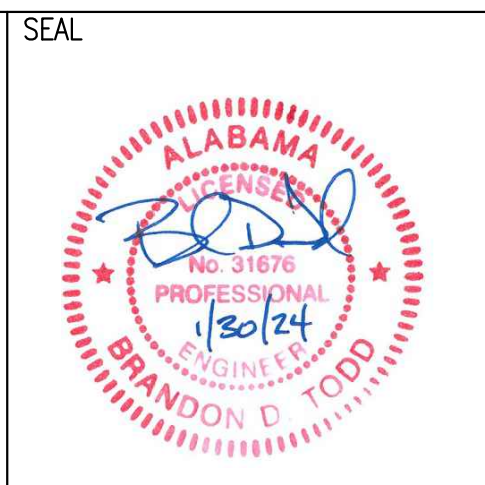
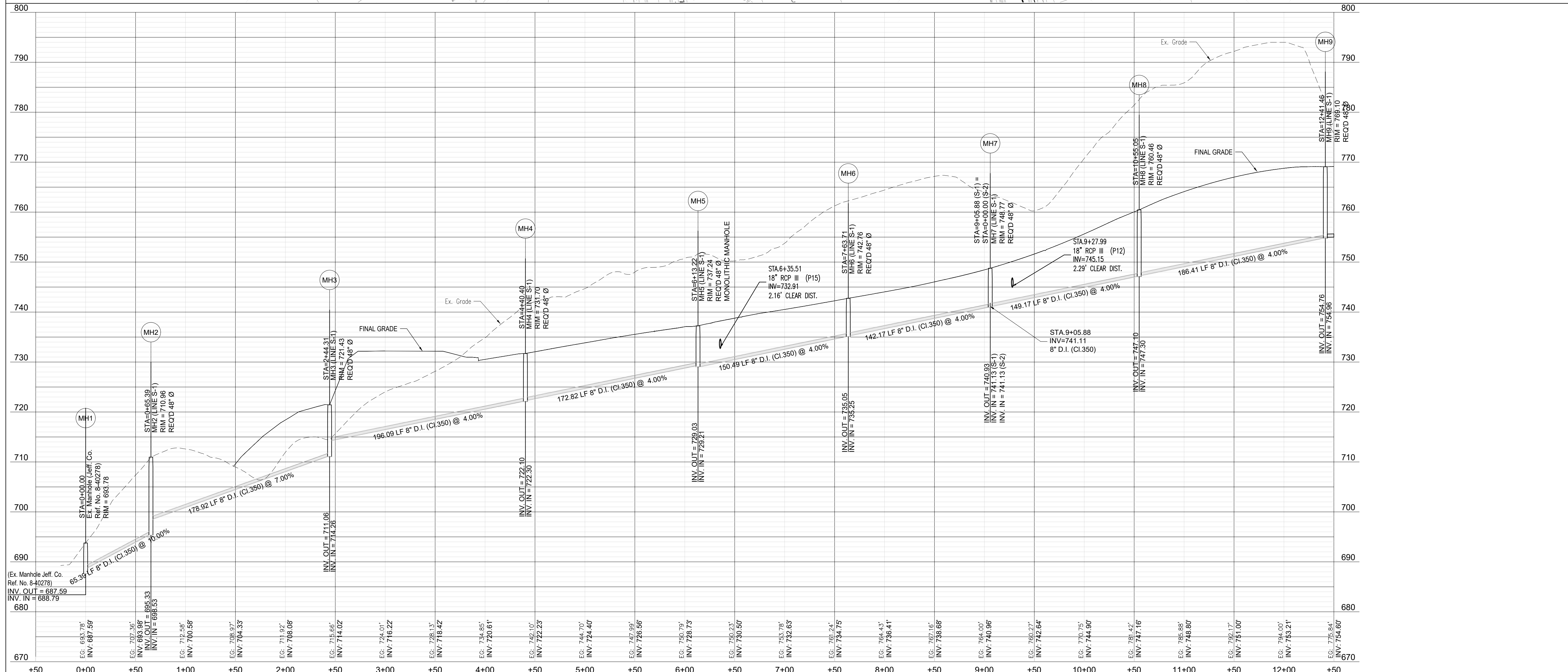
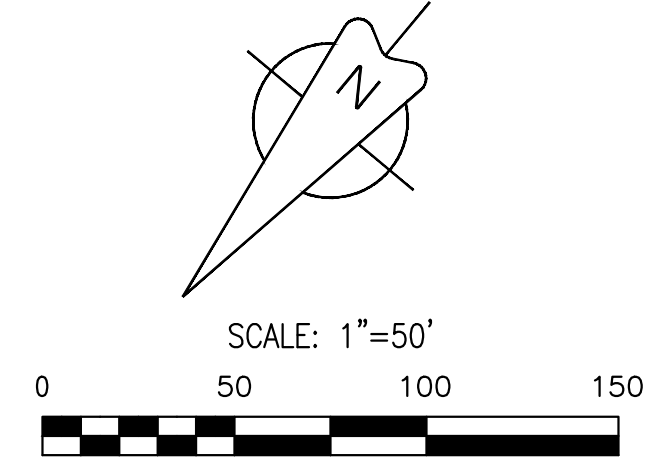
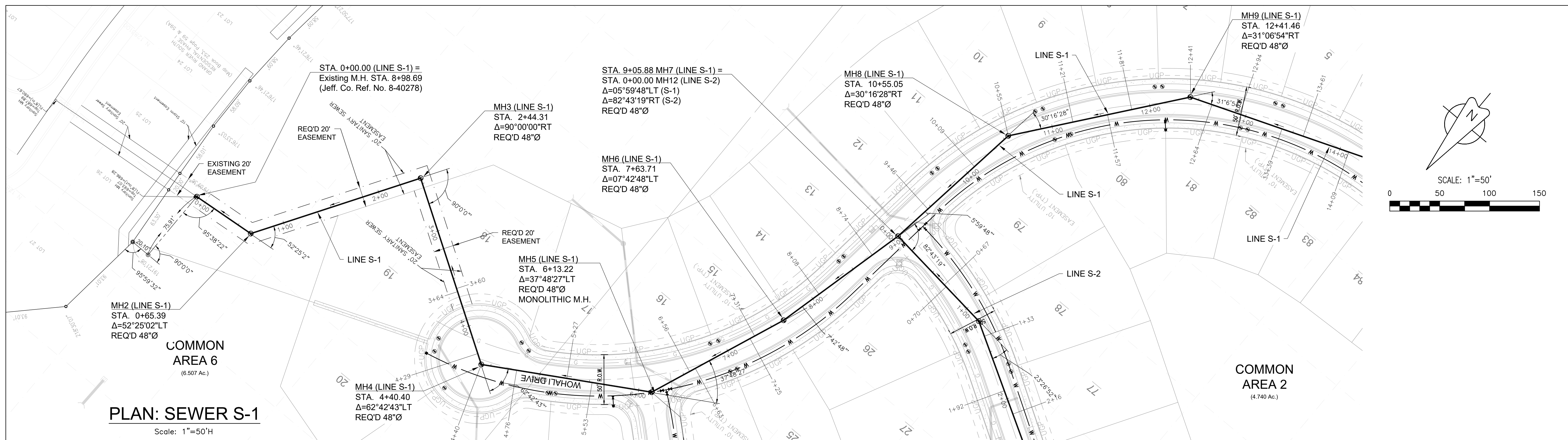
SCALE
1" = 100'

SHEET
59 of 75

DRAWN: BDT
CHECKED: BDT

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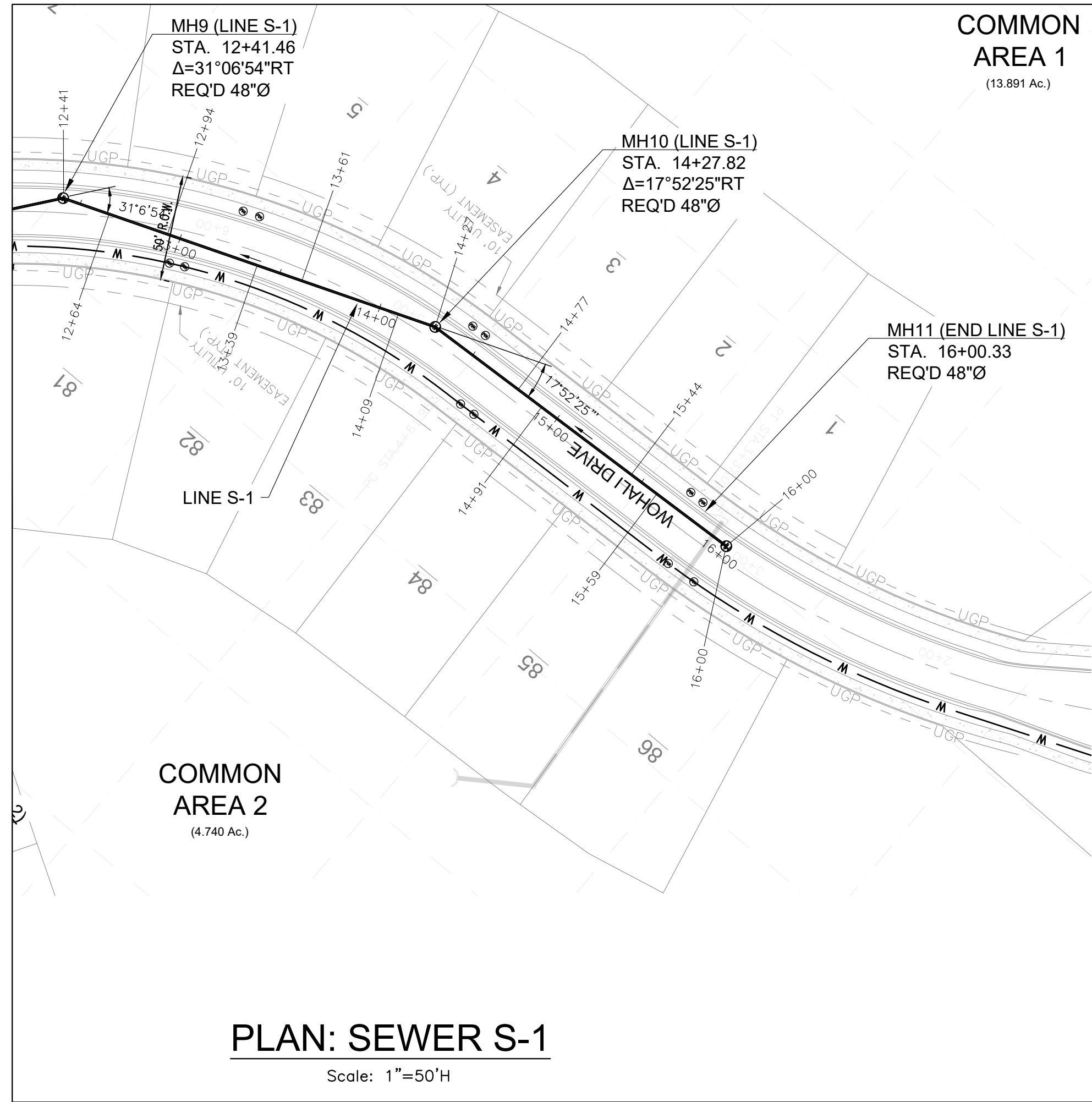


GRAND RIVER SOUTH RESIDENTIAL - PHASE THREE

A PROPOSED USS COMMUNITY
CITY OF LEEDS, AL

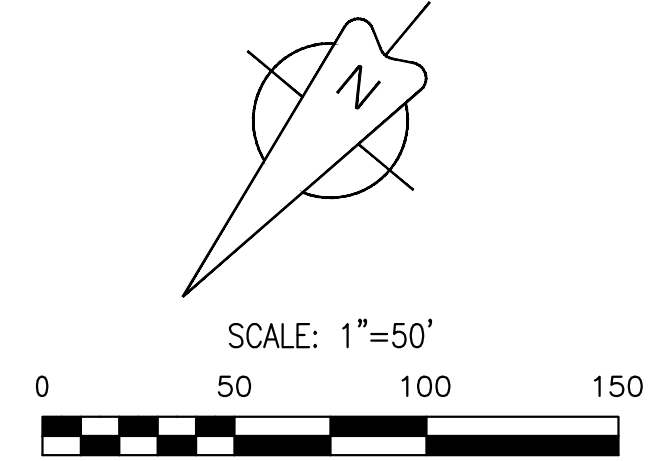
DRAWING ISSUE	
DESCRIPTION	DATE

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PLAN/PROFILE: SEWER S-1	
DRAWING NO.	
C7.06	
SCALE	
1" = 50'	
SHEET	
65 of 75	
DRAWN:	CHECKED:
BDT	BDT
JOB #	
002-21	



JEFFERSON COUNTY STANDARD NOTES
FOR 8 INCH AND LARGER SANITARY SEWERS

- All construction shall be in accordance with the standards and specification of Jefferson County, the local municipality and/or the State Highway Department, and applicable O.S.H.A. regulations, as applicable.
- The Contractor shall notify the Jefferson County Environmental Services Department 325-5127 at least 24 hours prior to beginning construction. There shall be no changes in Drawings without written approval by the Jefferson County Environmental Services Department.
- Ductile iron pipe shall be Class 350 or better.
- PVC pipe shall be AWWA C900, Cast Iron (CI) standard dimensions. Dimension Ratio (DR) 18. Pressure Class (PC) 150 psi or better.
- In earth trench, four inches of crushed stone shall be placed under sewer lines of 12 inches in diameter or smaller and six inches of crushed stone shall be placed under sewer lines larger than 12 inches in diameter. In rock trenches, six inches of crushed stone shall be placed under all sewers. The ditch shall be backfilled with crushed stone to a depth of 12 inches above the top of the pipe. When crossing existing roads and streets, the total backfill shall be crushed stone and properly choked.
- At the direction of the ESD Inspector, a connection of Sanitary sewer pipes (8 inch through 16 inch) of dissimilar sizes or for repair of sanitary sewer pipes of similar materials may be made by means of an approved mechanical seal type adjustable coupling. Couplings with any required adapting bushings shall be manufactured of an approved preformed elastomeric material specifically for dimensions of the pipe materials to be connected. Couplings of the mechanical seal type shall have nut and bolt tightening clamps or devices made of 3/16 stainless steel, with an adjustable stainless steel shear ring, and stainless steel hardware. A concrete collar as shown on Appendix Standard Drawing SD2060 is required. The adjustable coupling shall be installed as recommended and specified by the manufacturer. Each coupling shall bear the manufacturer's name and required markings.
- Manholes shall meet ASTM specification C-478. Joints between the manhole sections shall be offset tongue and groove "push on" type, supplied with Tylox Super Seal pre-lubricated gasket as manufactured by Hamilton Kent meeting the requirements of ASTM C44J. Each joint shall also be supplied with Con Seal CS-231 waterstop sealant as manufactured by Concrete Sealants, in widths as recommended by the manufacturer. Manholes shall have a minimum diameter of 48 inches and a minimum thickness of 5 inches. All manhole cones shall be of the concentric type. Manholes may be finished to street grade with brick and mortar. This adjustment height shall not exceed 16 inches.
- Stubouts for Sanitary sewer service lines shall end on or near the property line unless otherwise noted. On "downhill" side lots install laterals on a minimum 1% grade. On "uphill" side lots, install service lines to grade that will terminate a maximum depth of 10 feet. The first joint out of a manhole, for building or house service, shall be ductile iron pipe class 52 or better (minimum 8 feet). Any building service line set outside of easement or R.O.W must be installed by a master plumber and have a sewer connection permit for each lot.
- If the contractor is installing service lines at the same time as main line, the service line shall be in stalled in accordance with *Jefferson County Standards for Construction of Service Lines and Connections*, and inspected/tested by County inspector before it is backfilled.
- All service line stubouts installed in Road ROW or under asphalt shall be per Standard Specifications for Sanitary Sewer Service Lines and Connections Section 4.
- Construction signs for work within and adjacent to public roads, highways, and alleys shall be in accordance with ALDOT Standards.
- Contractor will be responsible for the continuous and proper operation of all existing utilities located on or adjacent to the project site and within the construction limits of this project.
- All embankment fill areas shall be filled and compacted prior to excavation of sewer line trenches.
- Contractor will be responsible for the construction and maintenance of erosion and sedimentation controls and for acquisition of all permits during construction to insure that damage does not occur to adjacent properties, public roads and/or ditches (creeks, streams).
- Upon completion of all or any part of a sanitary sewer line, the Contractor will be required to test said sewer for acceptability. Gravity sewers will be pressure tested with air. Force main sewers will be pressure tested with water. Manholes will be vacuum tested. All tests will be conducted in the presence of the County Sewer Construction Inspector in accordance with section 5.00 Standards for Commercial and Residential Construction of Sanitary Sewer Systems. Gravity Sanitary Sewers will be television inspected following air testing with the final video tape and log furnished to the County for record information.



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CITY OF LEEDS, AL

DRAWING ISSUE	
DESCRIPTION	DATE

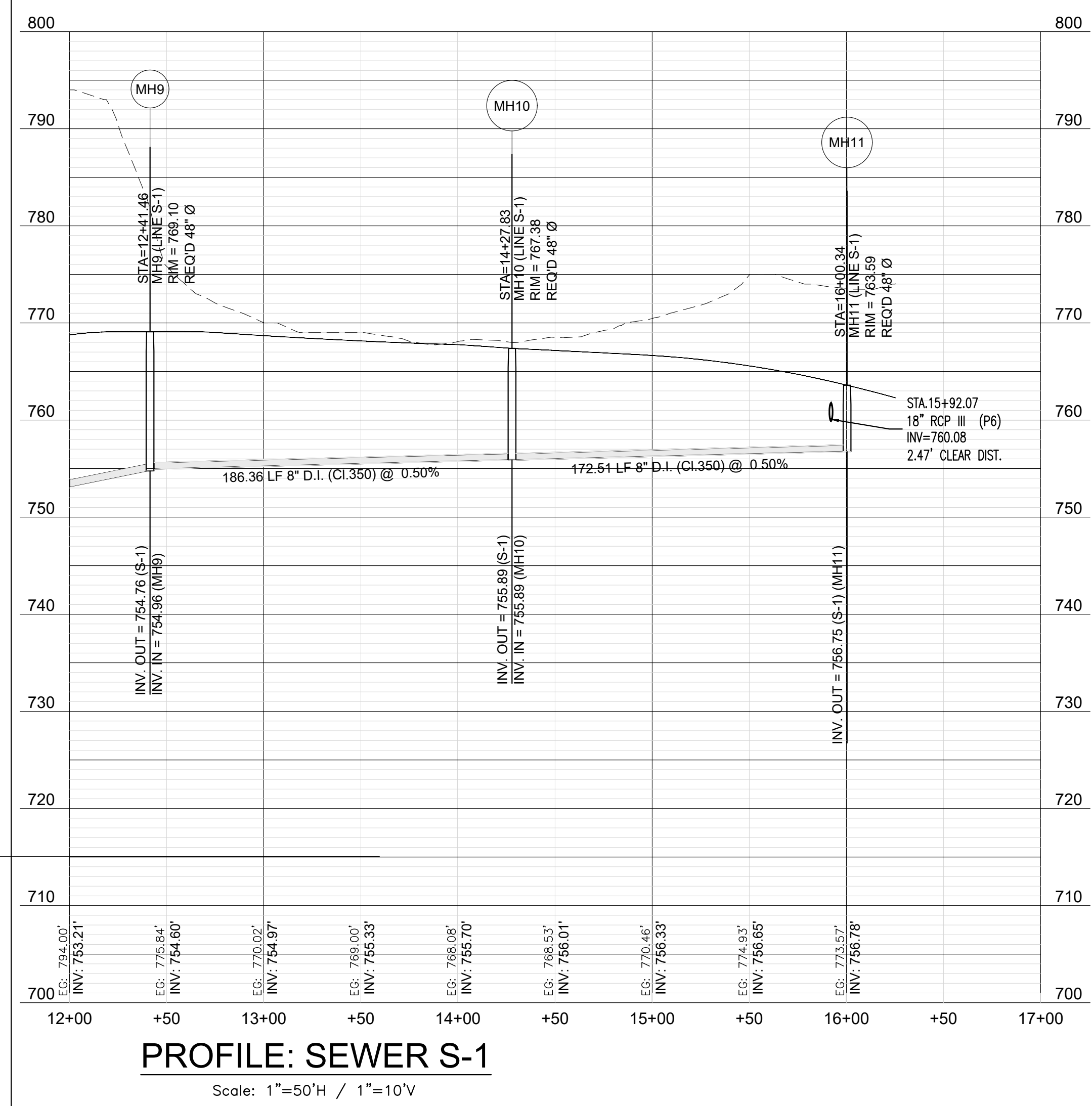
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**PLAN/PROFILE:
SEWER S-1**

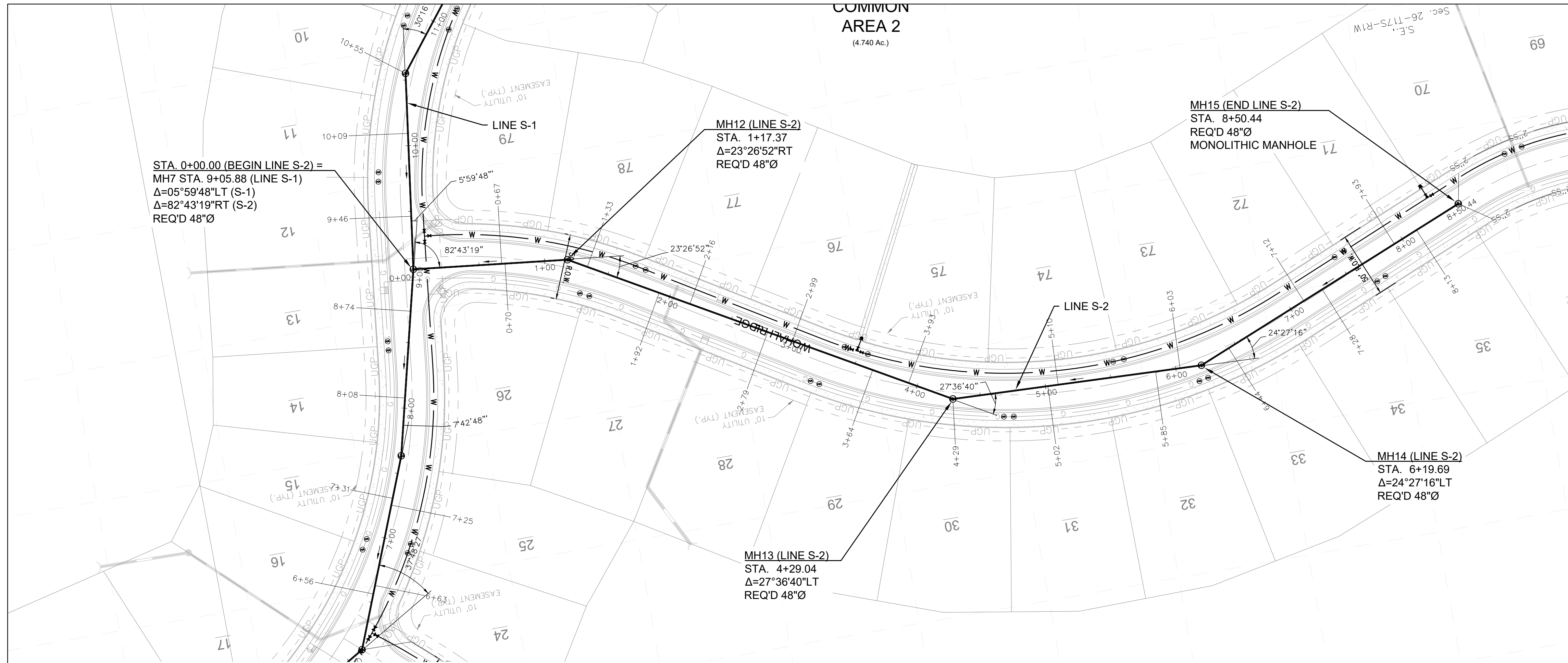
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C7.07

SCALE
1" = 50'

SHEET
66 of 75

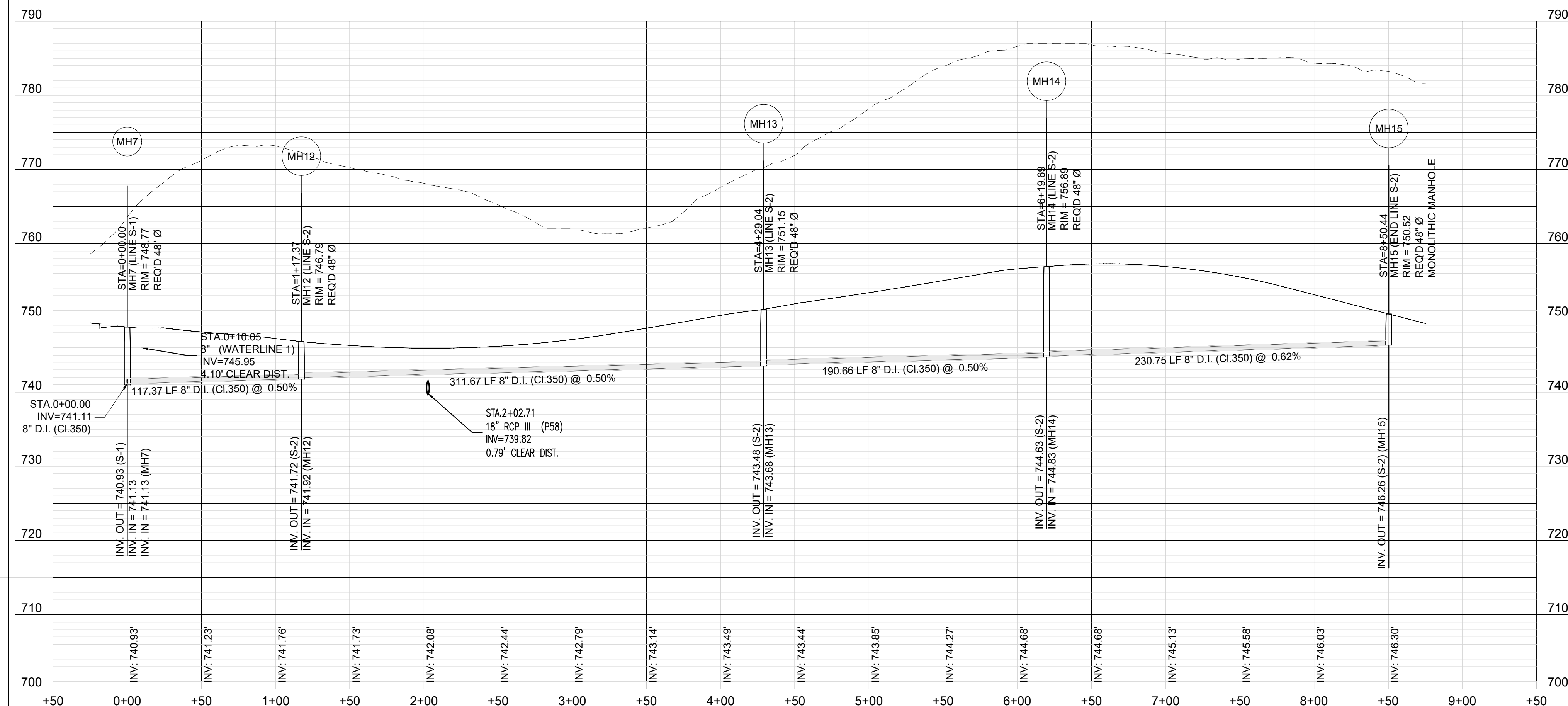
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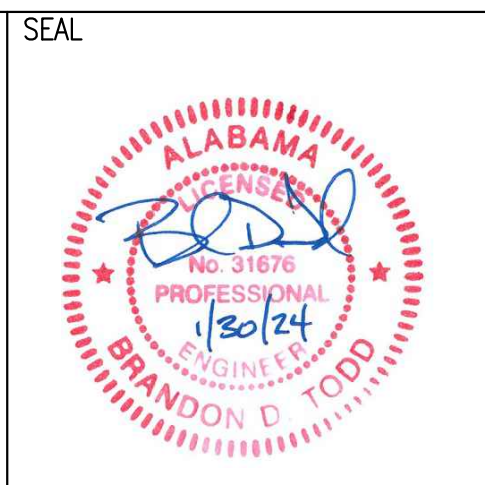
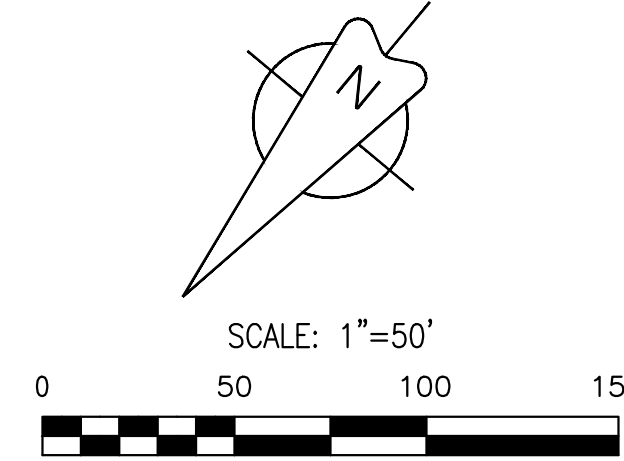
PLAN: SEWER S-2

Scale: 1"=50'H



PROFILE: SEWER S-2

Scale: 1"=50'H / 1"=10'V



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GRAND RIVER SOUTH RESIDENTIAL - PHASE THREE

A PROPOSED USS COMMUNITY
CITY OF LEEDS, AL

DRAWING ISSUE	
DESCRIPTION	DATE

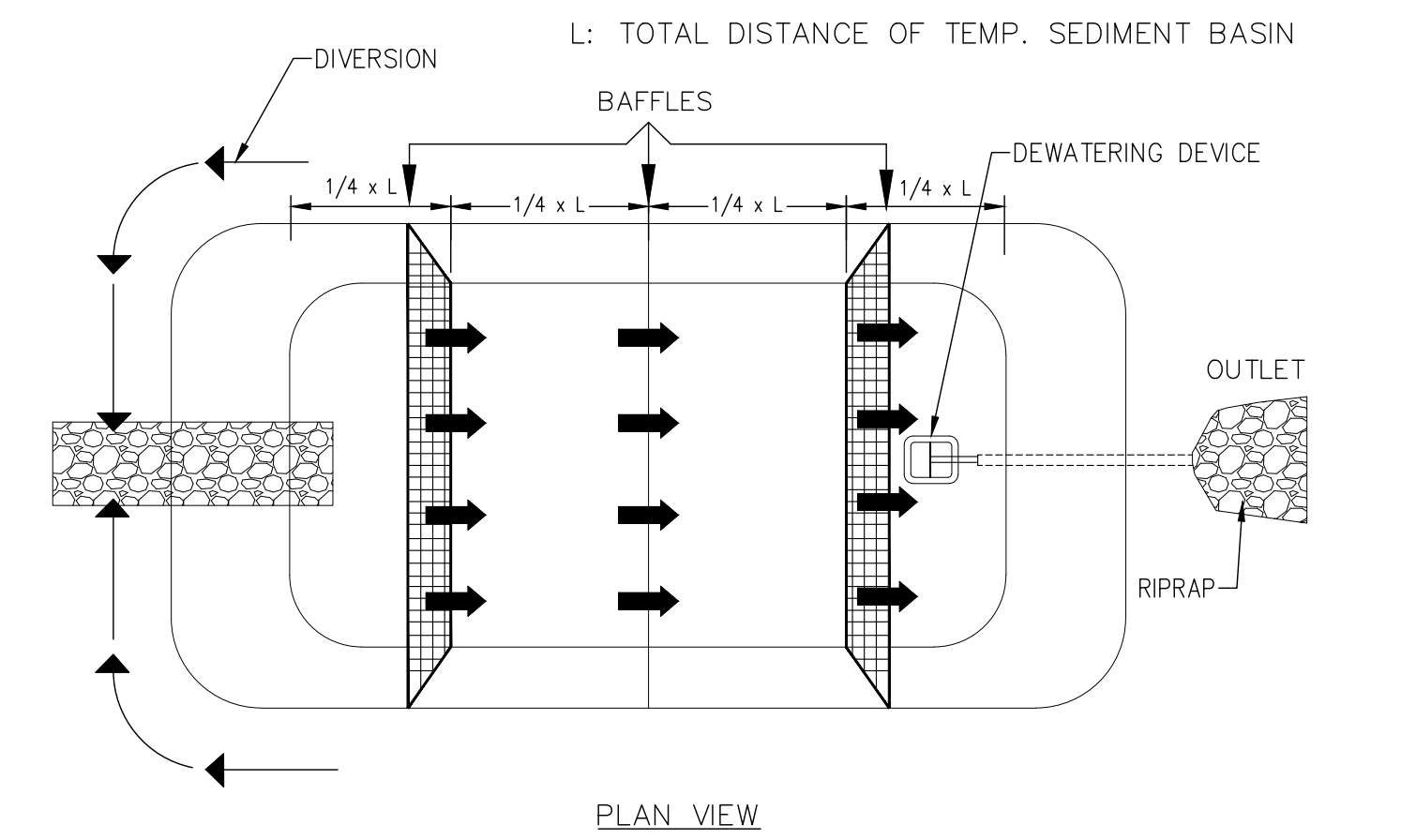
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**PLAN/PROFILE:
SEWER S-2**

DRAWING NO.
C7.08

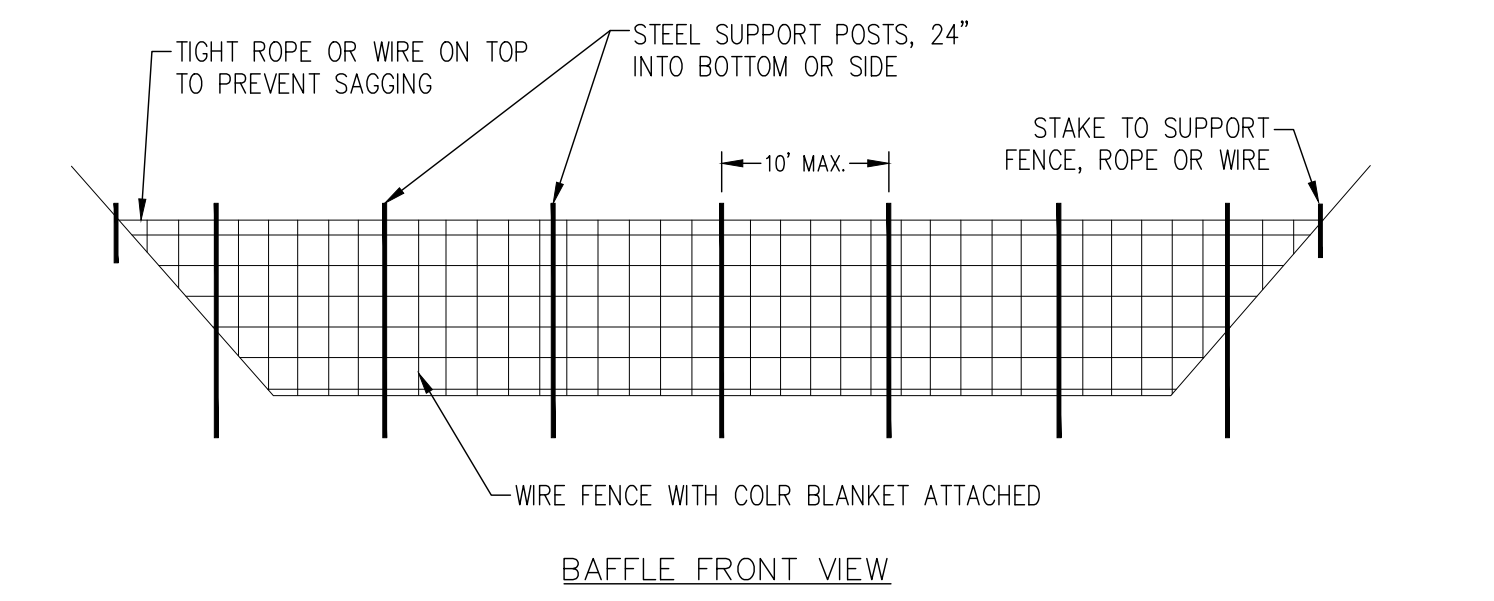
SCALE
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SHEET
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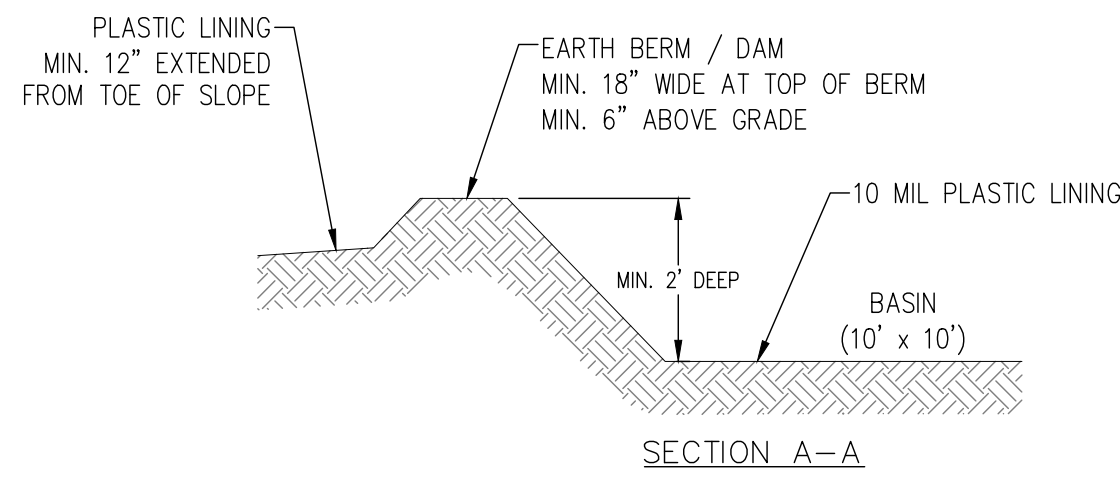
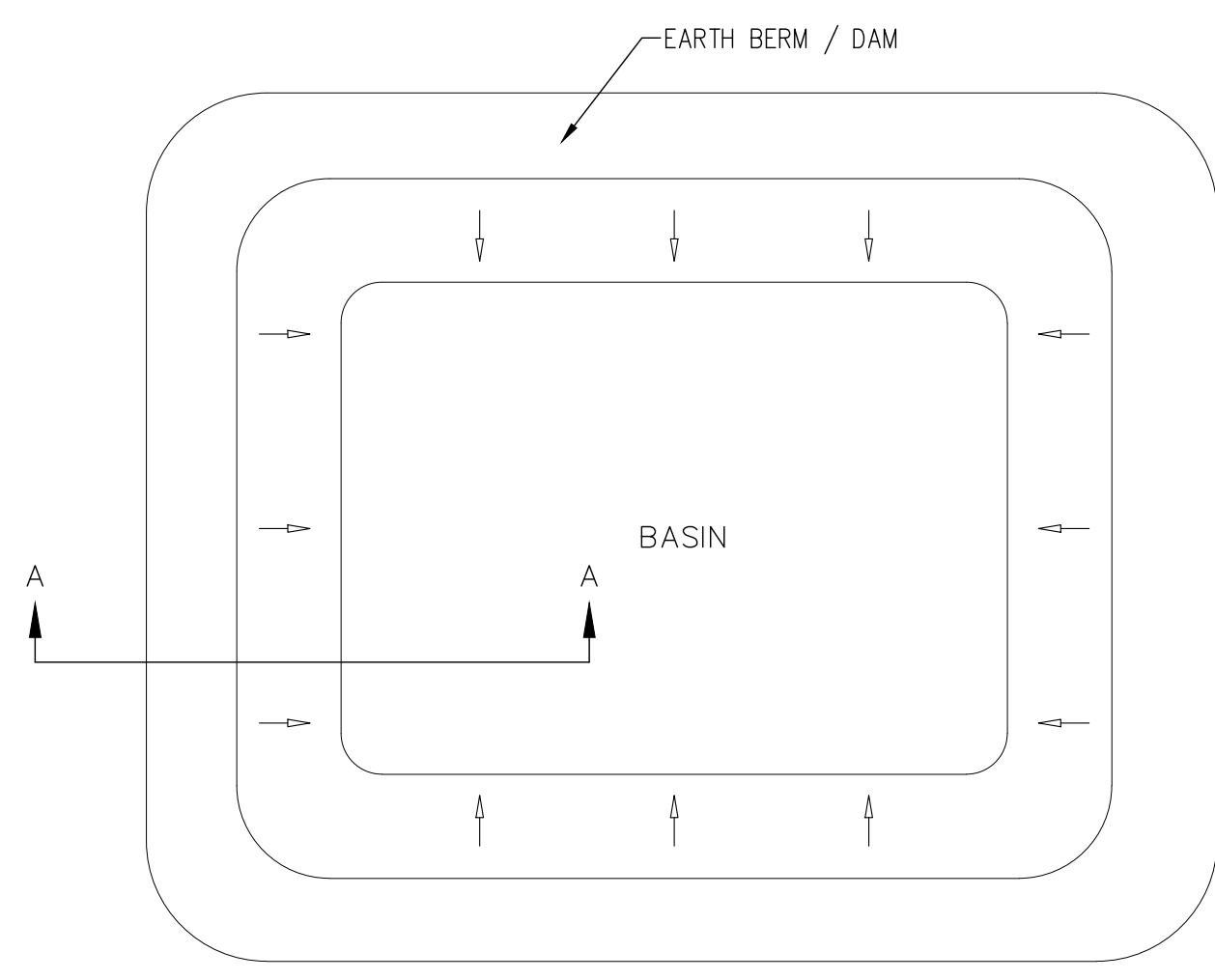
DRAWN: BDT
 CHECKED: BDT



NOTES:
 1. SECURE BAFFLE MATERIAL AT BOTTOM AND SIDES USING STAPLES OR BY TRENCHING AS FOR SILT FENCE.
 2. MAINTAIN ACCESSIBILITY TO BAFFLE BAYS FOR PERIODIC SEDIMENT CLEANING AND MAINTENANCE.



POROUS BAFFLES IN SEDIMENT BASIN DETAIL
N.T.S.

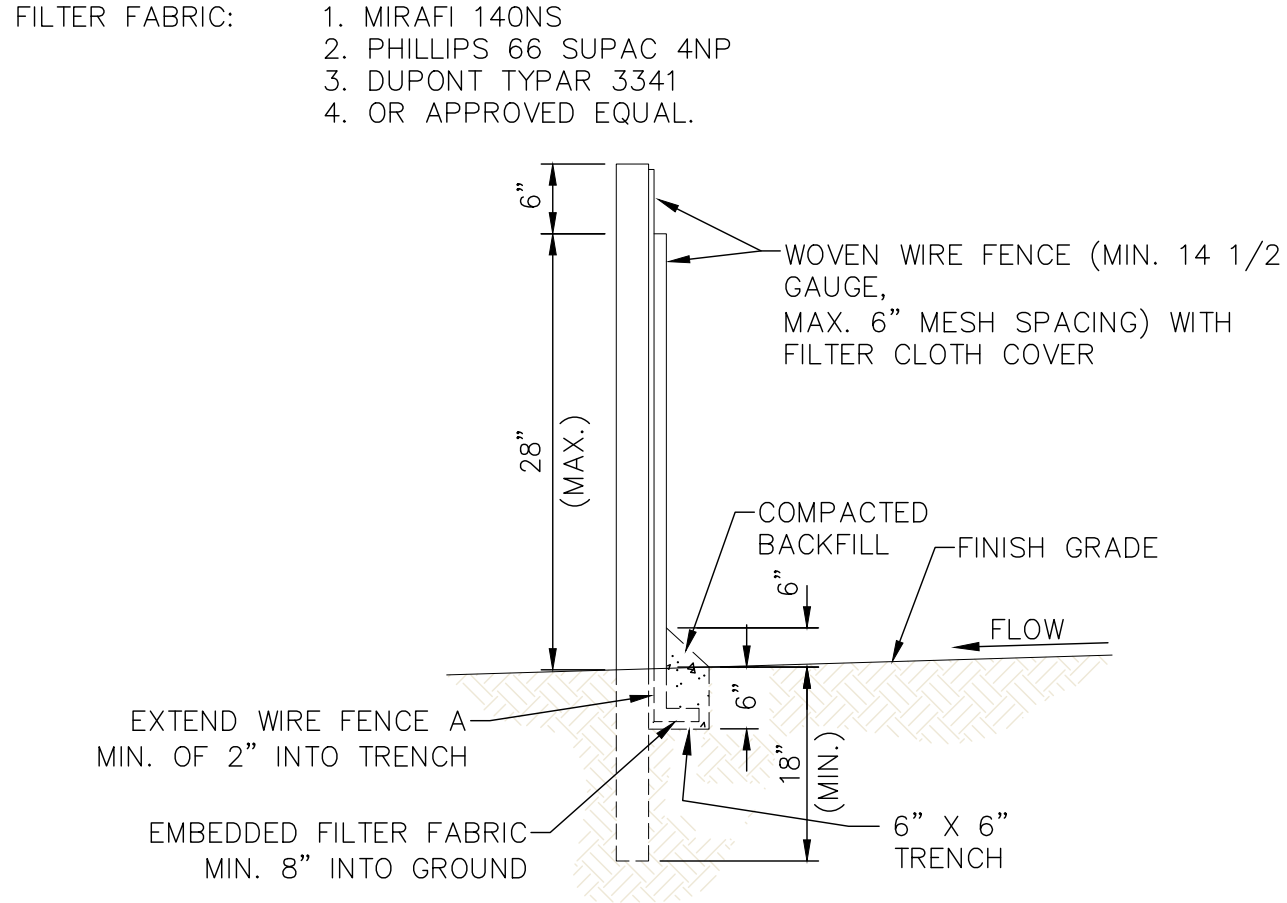


BMP-BELOW GRADE LINING BASIN DETAIL FOR CONCRETE WASHOUT
N.T.S.

POSTS: STEEL EITHER T OR U TYPE (1.3 LB./FT. MIN.)
 POSTS SHALL HAVE MIN. LENGTH OF 48".
 POSTS SHALL BE SPACED A MAXIMUM OF 10' O.C.

FENCE: WOVEN WIRE, 14-1/2 GA. 6" MAX. MESH OPENING

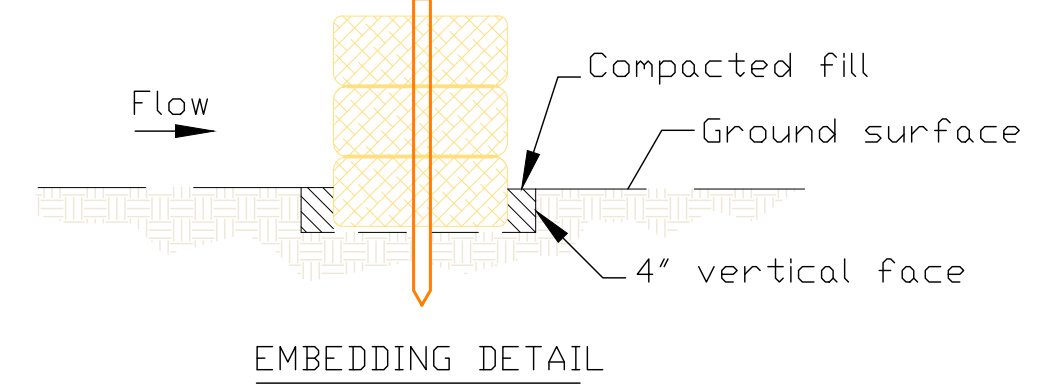
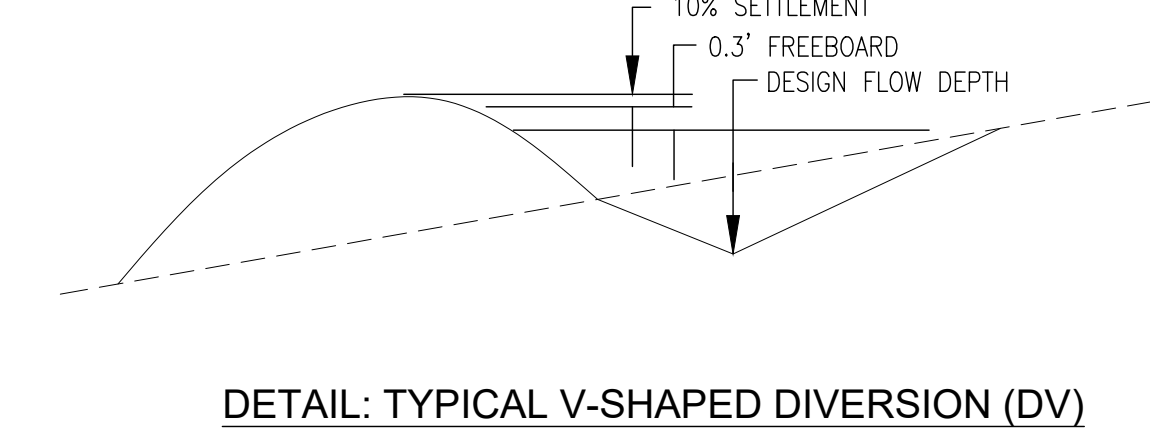
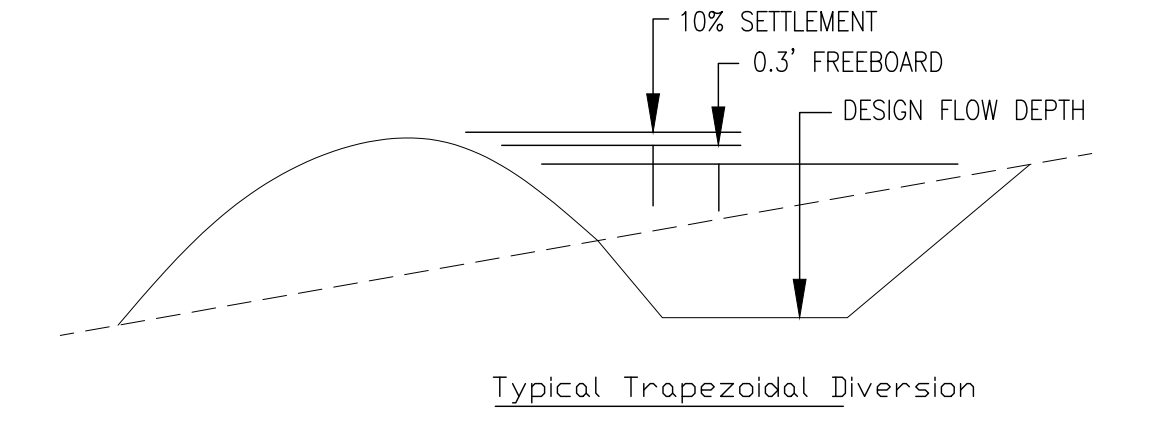
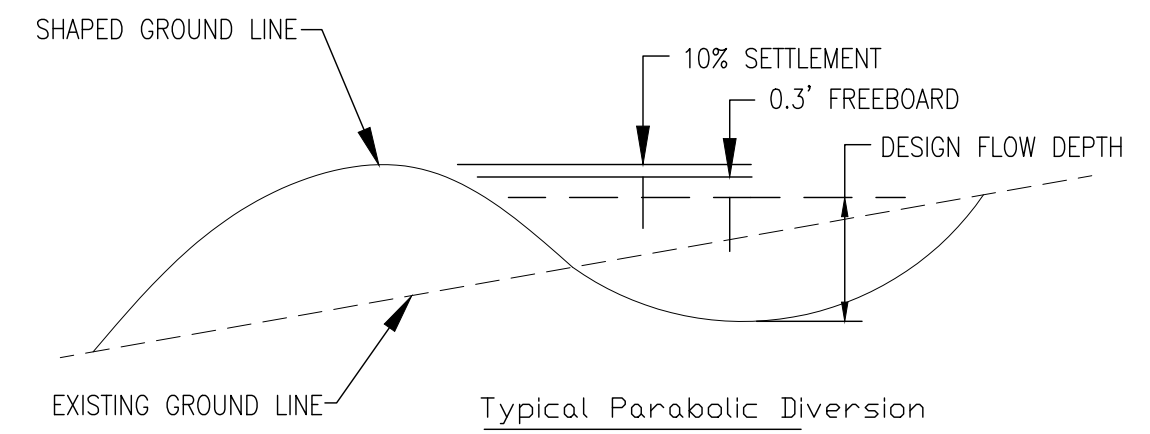
FILTER FABRIC:
 1. MIRAFI 140NS
 2. PHILLIPS 66 SUPAC 4NP
 3. DUPONT TYPAR 3341
 4. OR APPROVED EQUAL.



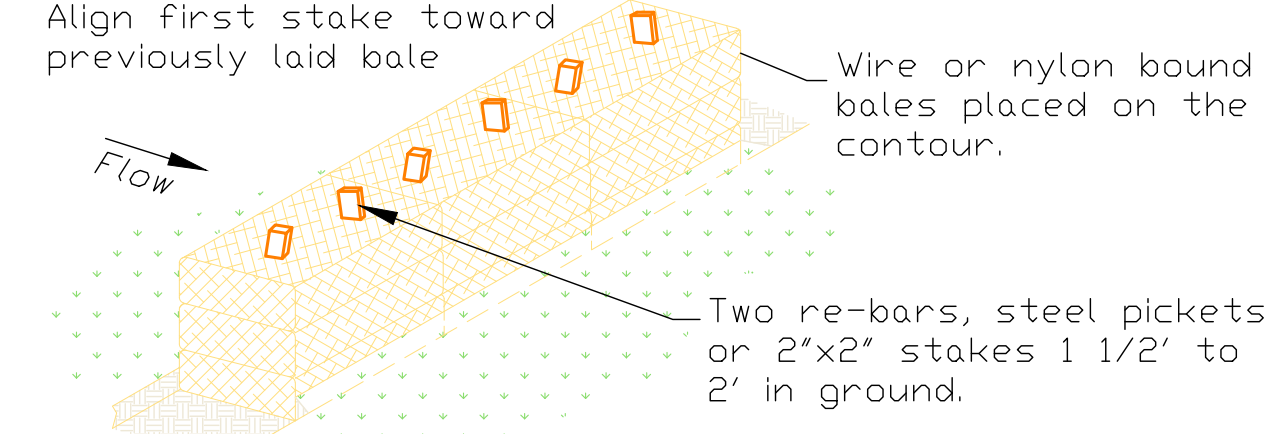
CROSS-SECTION

1. INSTALLATION SHALL COMPLY WITH ASTM D 6462 LATEST EDITION.
2. ATTACH THE WOVEN WIRE FENCE TO EACH POST WITH THREE WIRE TIES OR OTHER FASTENERS, ALL SPACED WITHIN THE TOP 8" OF THE FABRIC, ATTACH EACH TIE DIAGONALLY 45 DEGREES THROUGH THE FABRIC, WITH EACH PUNCTURE AT LEAST 1" VERTICALLY APART. ALSO, EACH TIE PLACED ON A POST SHOULD BE POSITIONED TO HANG ON A POST NIPPLE WHEN TIGHTENED TO PREVENT SAGGING.
3. WHEN TWO SECTIONS OF GEOTEXTILE ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED ACROSS TWO POSTS, 60" MIN. AS SHOWN.
4. MAINTENANCE SHALL BE PERFORMED AS NOTED IN THE SWPPP. DEPTH OF ACCUMULATED SEDIMENTS MAY NOT EXCEED 1/2 THE HEIGHT OF THE FENCE. MAINTENANCE CLEANOUT MUST BE CONDUCTED REGULARLY TO PREVENT ACCUMULATED SEDIMENTS FROM REACHING 1/2.
5. ALL SILT FENCE SHALL INCLUDE WIRE SUPPORT UNLESS THE STATIC SLICING EQUIPMENT IS UTILIZED TO INSTALL THE FENCE PER DETAIL- SILT FENCE INSTALLATION (SLICING METHOD).
6. WRAP APPROXIMATELY 6" OF FABRIC AROUND THE END POSTS AND SECURE WITH 3 TIES.
7. COMPACTING IS VITALLY IMPORTANT FOR EFFECTIVE RESULTS. COMPACT THE SOIL IMMEDIATELY NEXT TO THE SILT FENCE FABRIC WITH THE FRONT WHEEL OF THE TRACTOR, SKID STEER, OR ROLLER EXERTING AT LEAST 60 POUNDS PER SQ. INCH. COMPACT THE UPSTREAM SIDE FIRST, AND THEN EACH SIDE TWICE FOR A TOTAL OF FOUR TRIPS.
8. ADD POST CAPS AS NEEDED BASED ON SITE CONDITIONS AND APPLICABLE AGENCY REQUIREMENTS.

SB SILT FENCE TYPE 'A'
N.T.S.



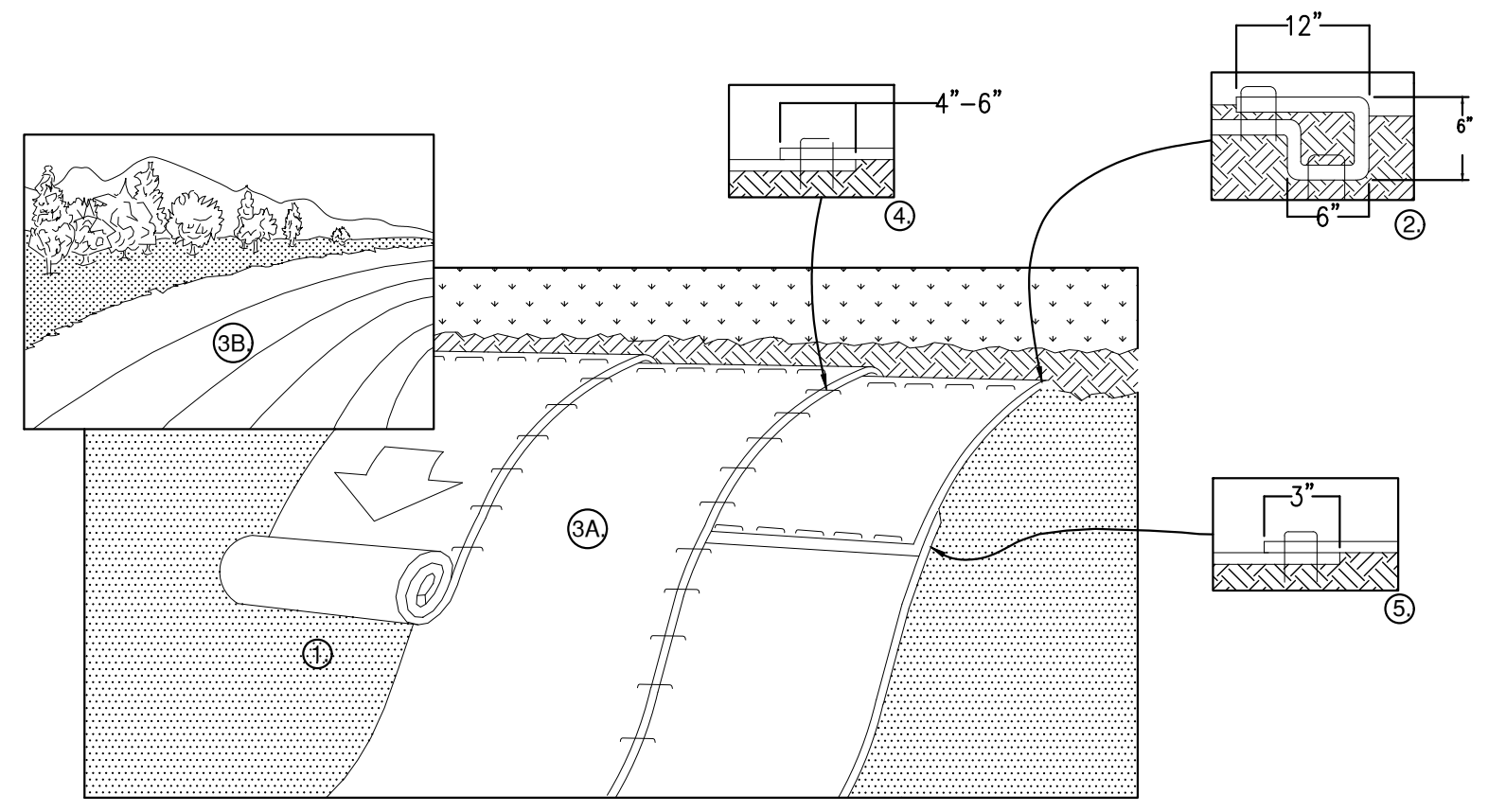
EMBEDDING DETAIL



ANCHORING DETAIL

Note:
 - Anchor and embed into soil to prevent washout or water working under barrier.
 - Repair or replacement must be made promptly as needed.

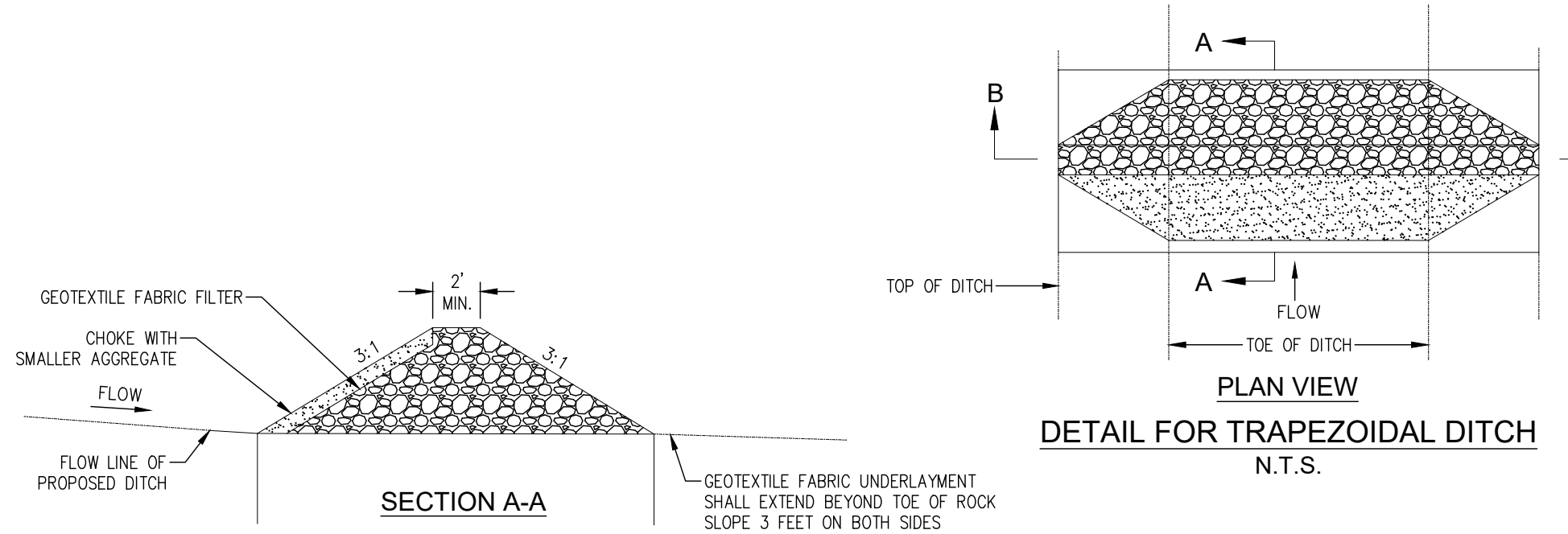
DETAIL: STRAW BALE SEDIMENT TRAP
N.T.S.



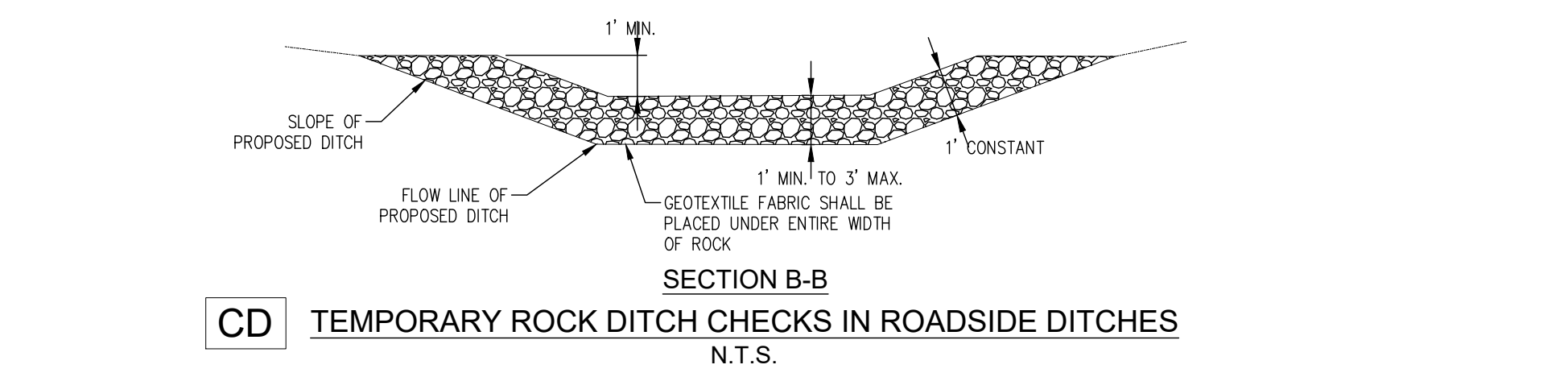
- NOTES:
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
 2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
 3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS PER MANUFACTURERS RECOMMENDATION.
 4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH MINIMUM 6" OVERLAP. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
 5. CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
 6. PLACE STAPLES/STAKES PER MANUFACTURE RECOMMENDATION FOR THE APPROPRIATE SLOPE BEING APPLIED.
 7. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLES OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
 8. FOLLOW EROSION CONTROL TECHNOLOGY COUNCIL SPECIFICATION FOR PRODUCT SELECTION

EROSION CONTROL BLANKET (SLOPE INSTALLATION)
N.T.S.

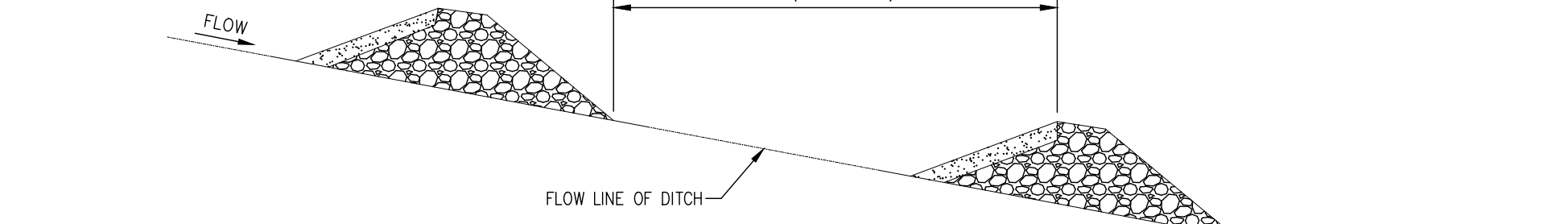
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 ISSUED FOR PERMITTING
 DATE: JANUARY 23, 2024



DETAIL FOR TRAPEZOIDAL DITCH
N.T.S.

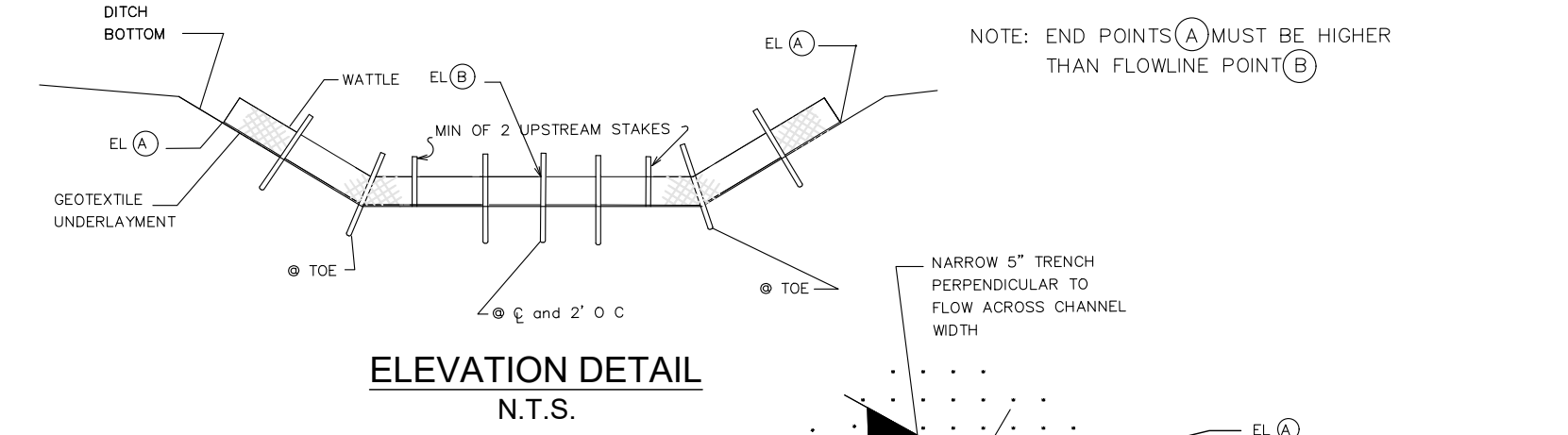


CD TEMPORARY ROCK DITCH CHECKS IN ROADSIDE DITCHES
N.T.S.

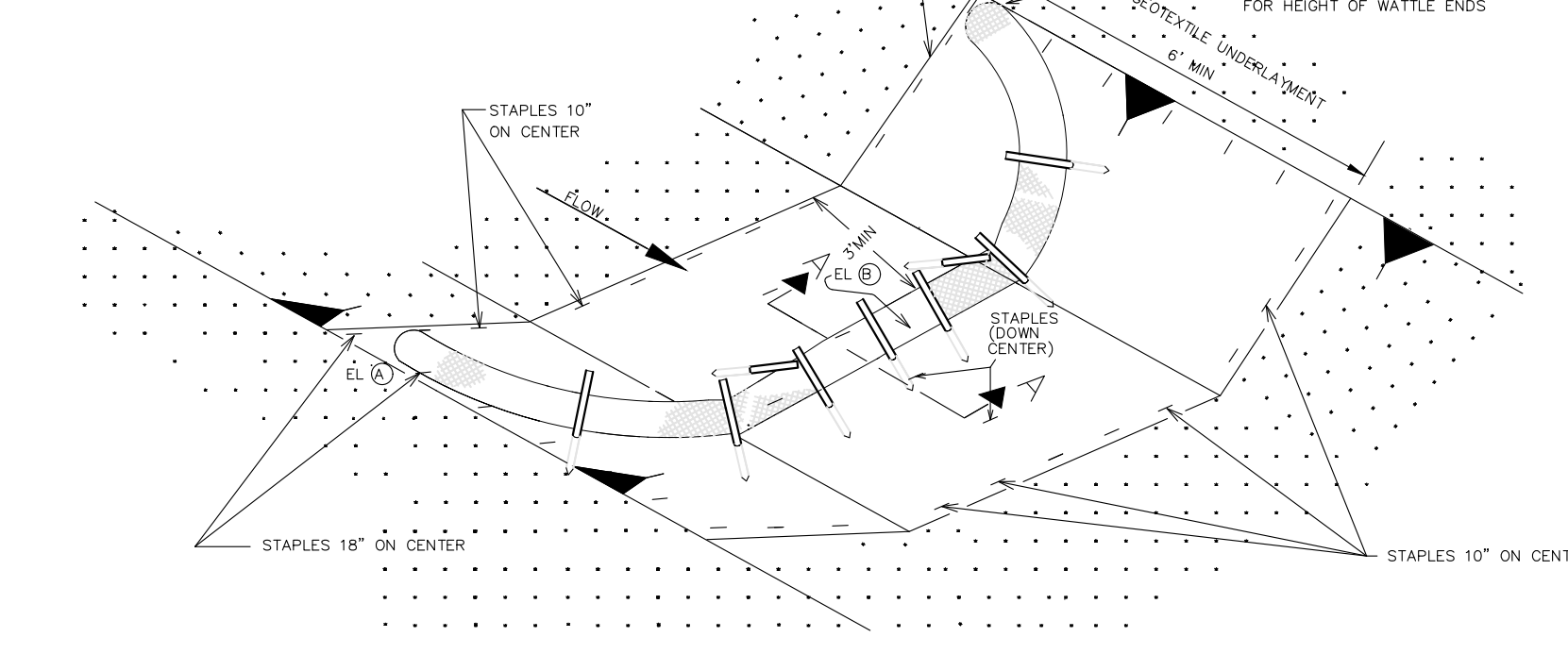


CD DETAIL FOR SPACING BETWEEN DITCH CHECKS
N.T.S.

- NOTES:
1. MINIMUM SPACING FOR ROCK DITCH CHECKS SHALL BE 50 FEET OR AS DIRECTED BY THE ENGINEER. SEE SPACING GUIDANCE ON SP-DWG ESC-300-1.
 2. ROCK DITCH CHECKS SHALL BE CHOKED WITH FILTER FABRIC.
 3. SEE LIST [[-3 FOR APPROVED GEOTEXTILES.

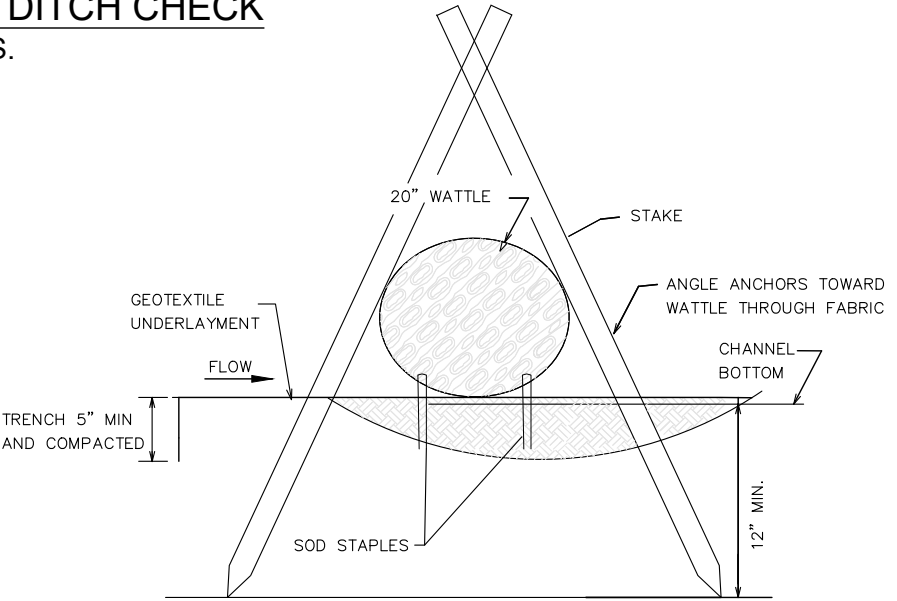


ELEVATION DETAIL
N.T.S.

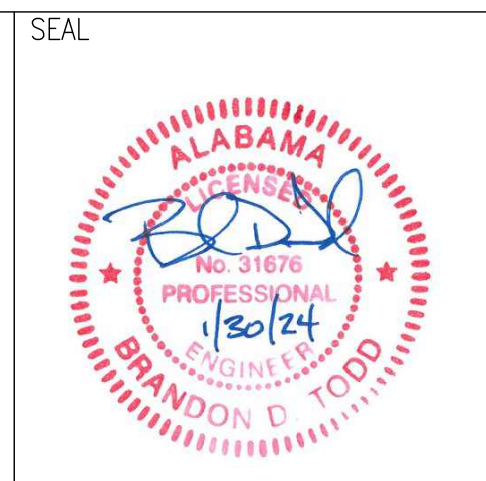


CD DETAIL - WATTLE DITCH CHECK
N.T.S.

- NOTES:
1. MINIMUM RECOMMENDED PLACEMENT INTERVAL BETWEEN WATTLE DITCH CHECK IS _____ FEET UNLESS SHOWN OTHERWISE ON THE PLANS OR APPROVED BY THE ENGINEER.
 2. ANCHORING STAKES SHALL BE SIZED, SPACED, DRIVEN, AND BE OF A MATERIAL THAT EFFECTIVELY SECURES THE CHECK. STAKE SPACING SHALL BE A MAXIMUM OF TWO FEET.
 3. SECURE GEOTEXTILE UNDERLAYMENT BY PLACING STAPLES 18 INCHES APART ALONG THE CHANNEL SIDES AND DOWN THE CENTER OF THE CHANNEL. SPACE STAPLES 10 INCHES APART ACROSS THE UPSTREAM AND DOWNSTREAM EDGES.
 4. PLACE STAPLES ON BOTH SIDES OF WATTLE AT 10" SPACING.



SECTION
N.T.S.



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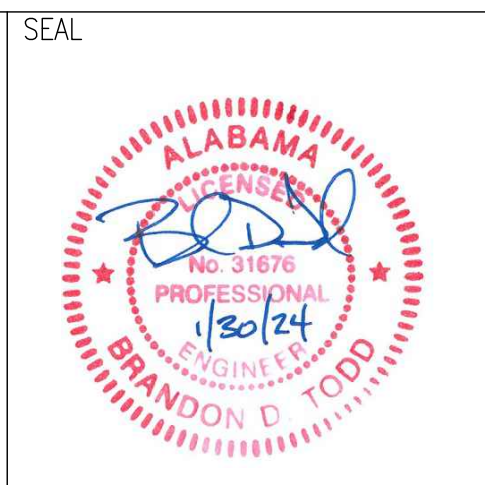
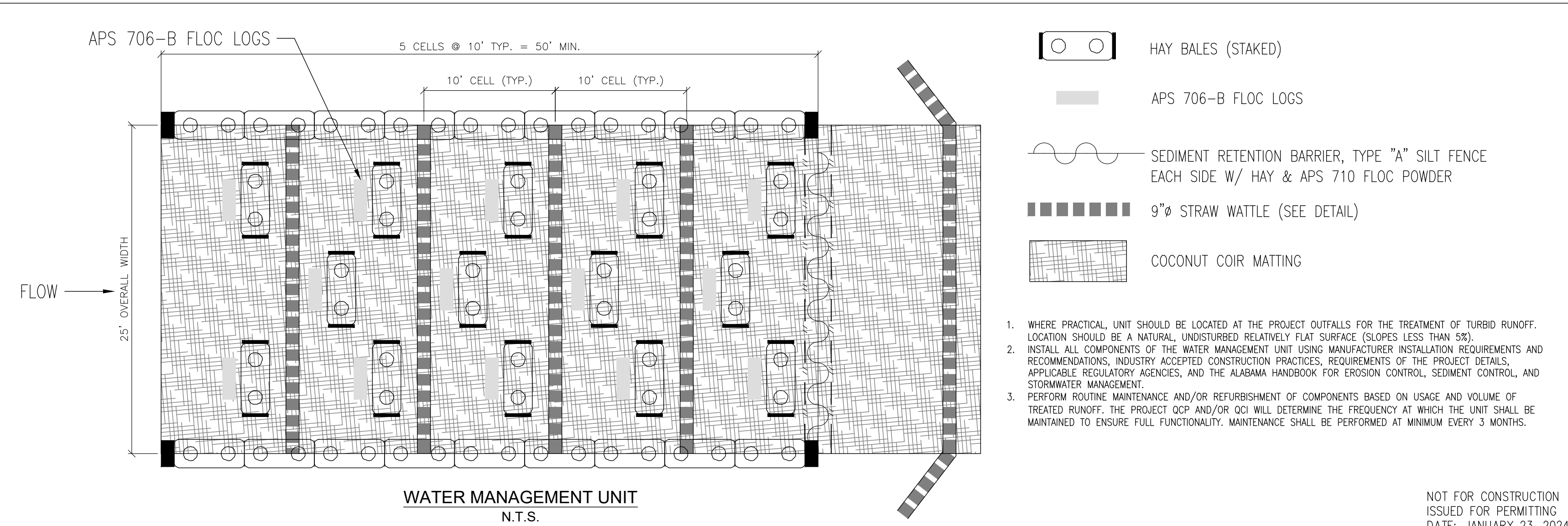
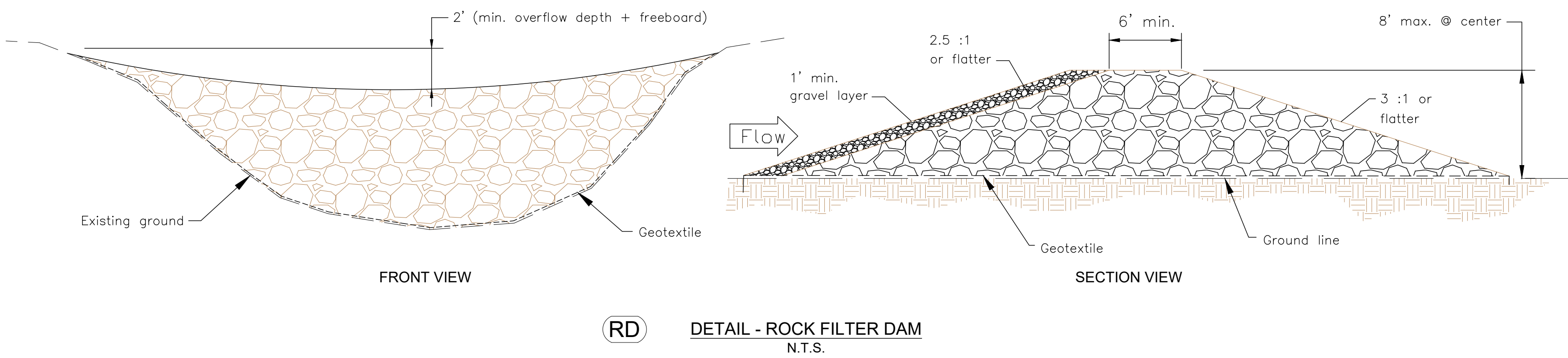
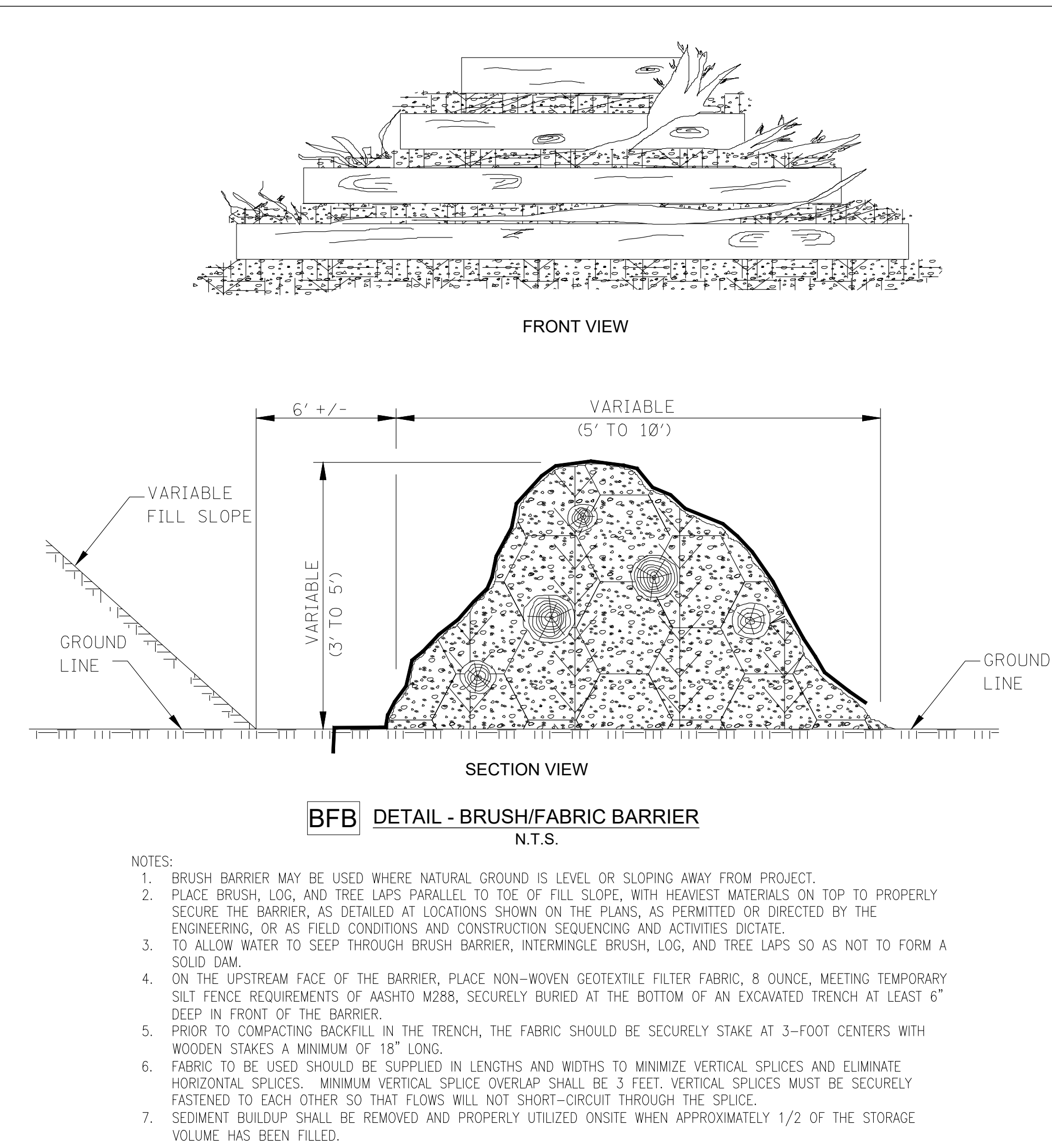
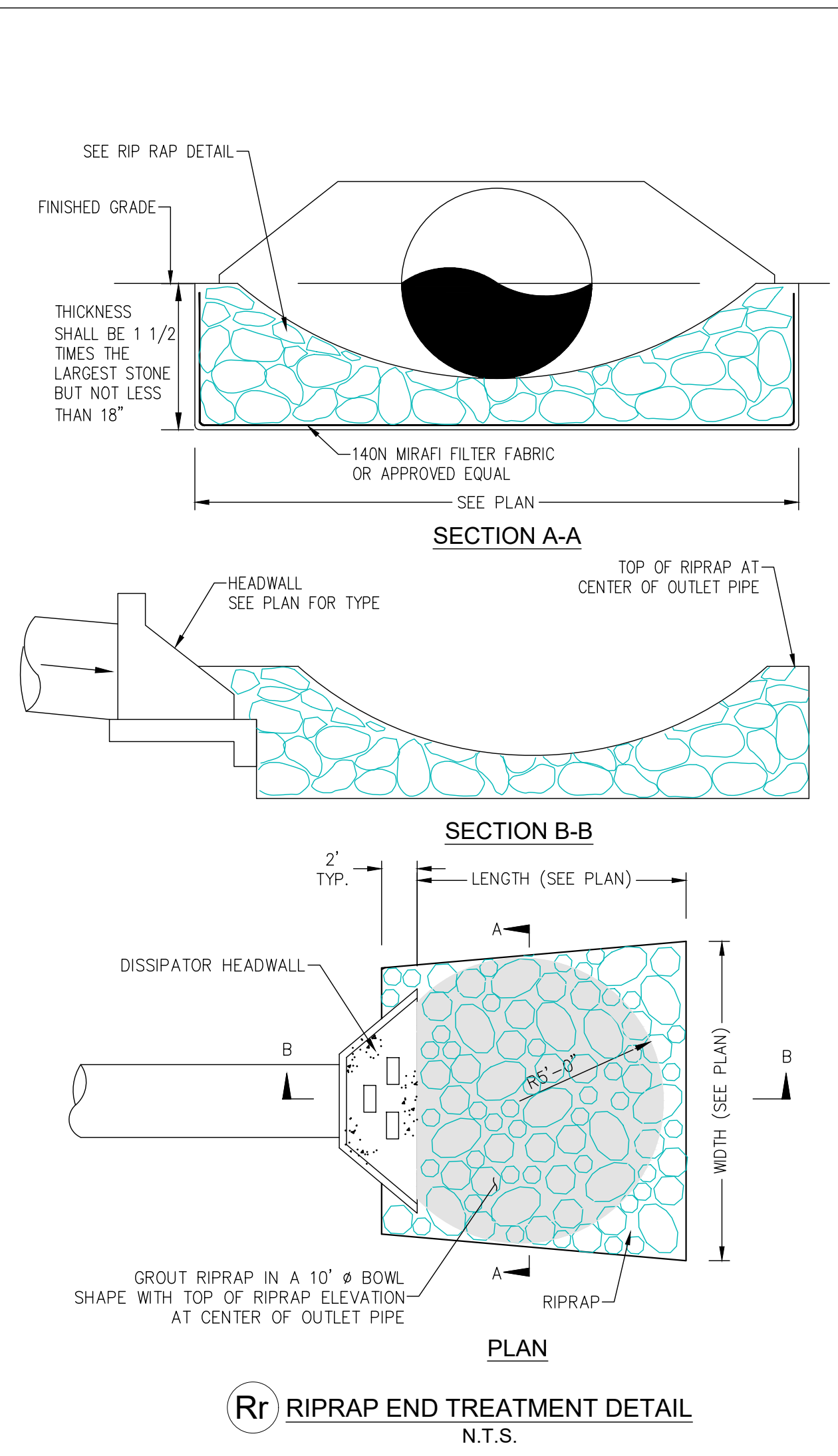
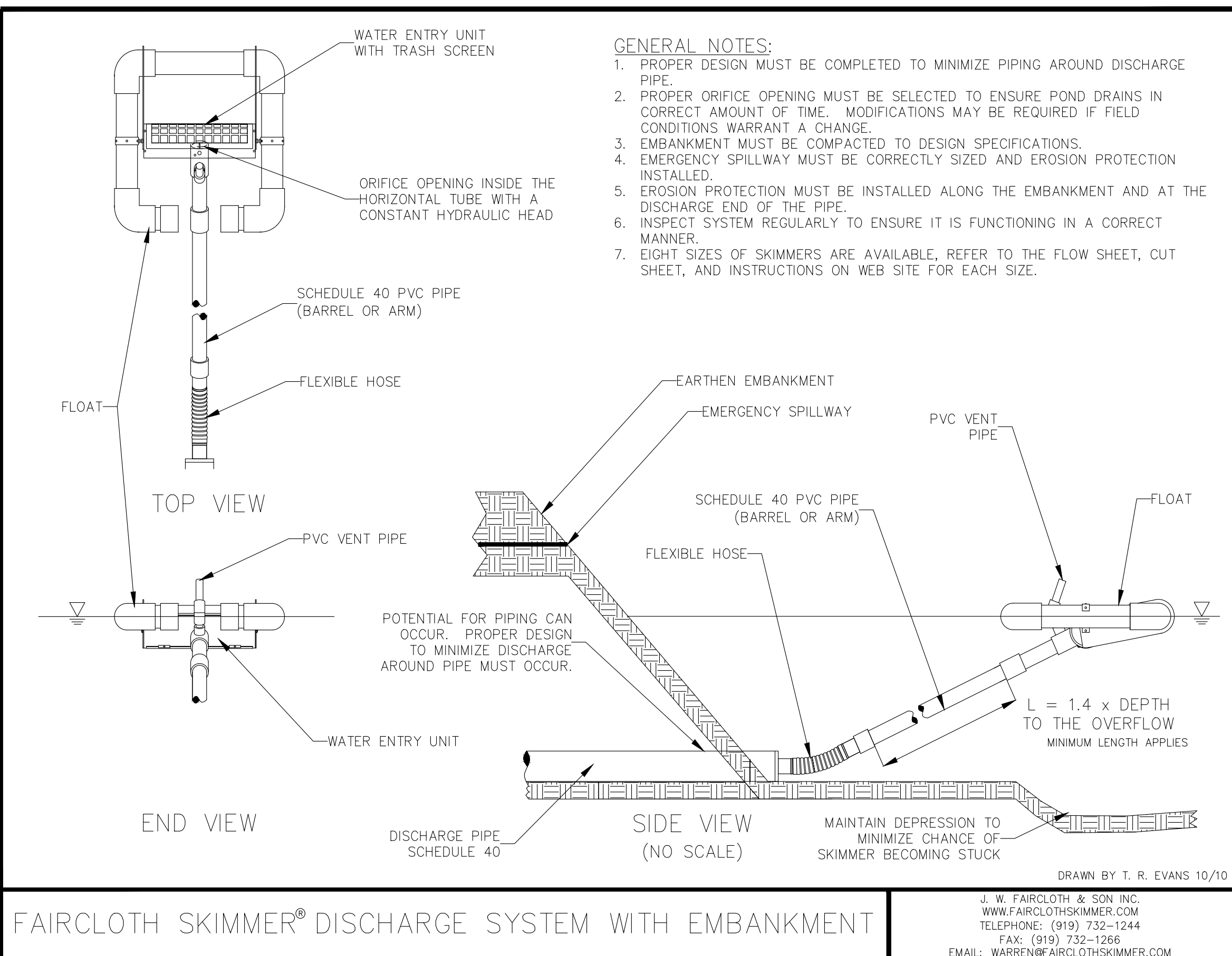
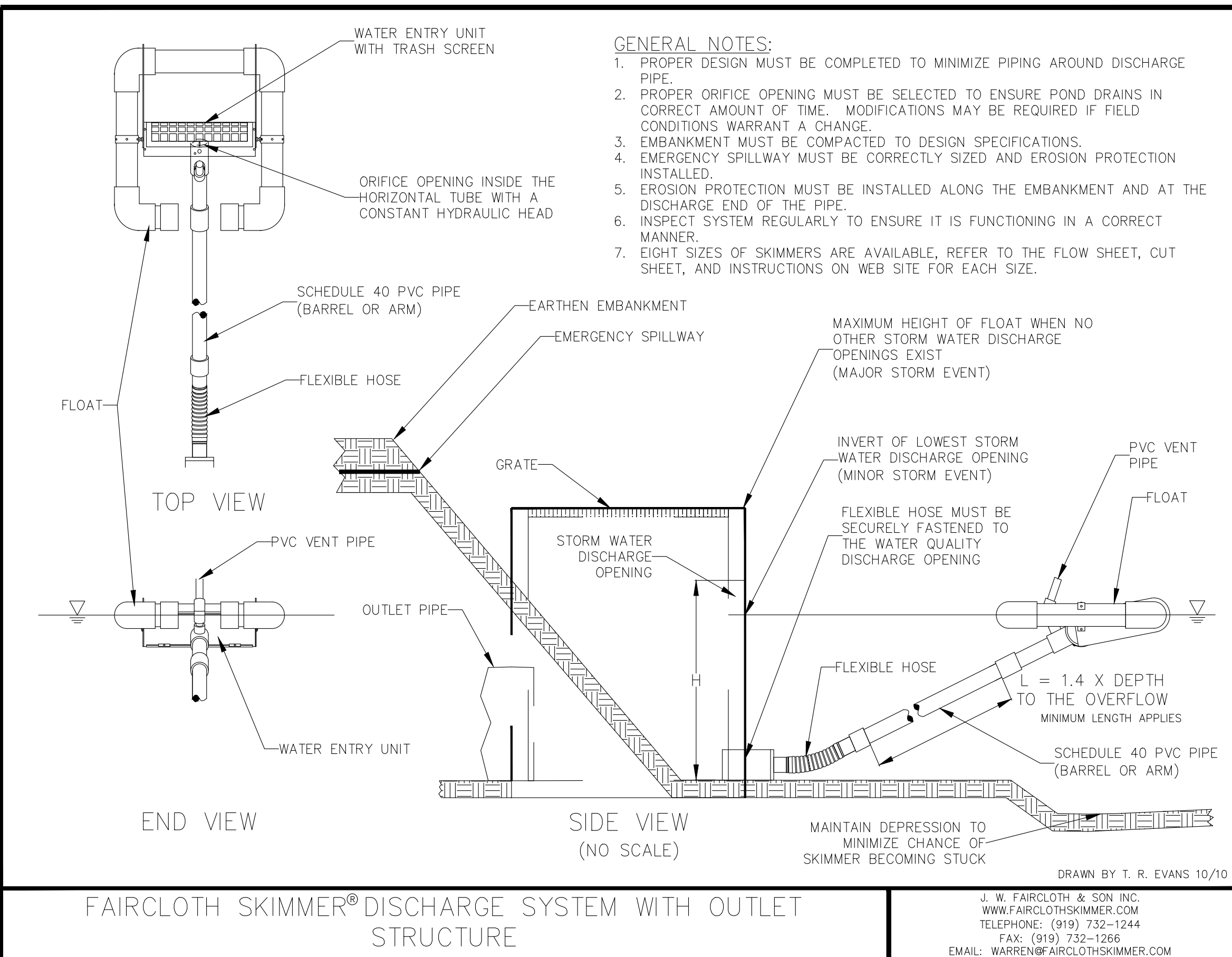
**GRAND RIVER SOUTH
 RESIDENTIAL - PHASE THREE**
 A PROPOSED USS COMMUNITY
 CITY OF LEEDS, AL

DRAWING ISSUE	
DESCRIPTION	DATE

PROJECT DETAILS
1 - EROSION

DRAWING NO.	C9.00
SCALE	AS NOTED
SHEET	68 of 75
DRAWN:	CHECKED:
BDT	BDT
Job #	002-21

GRAND RIVER - PHASE 3			
Basin	Skimmer Size	Orifice RAD	Orifice Dia.
SBN-1	2 1/2"	1 1/4"	2 7/16"
SBN-2	2 1/2"	15/16"	1 7/8"
SBN-3	3"	1 1/2"	2 15/16"
SBN-4	2 1/2"	15/16"	1 7/8"
SBN-5	3"	1 7/16"	2 13/16"
SBN-6	1 1/2"	1/2"	15/16"
SBN-7	3"	1 3/16"	2 7/16"



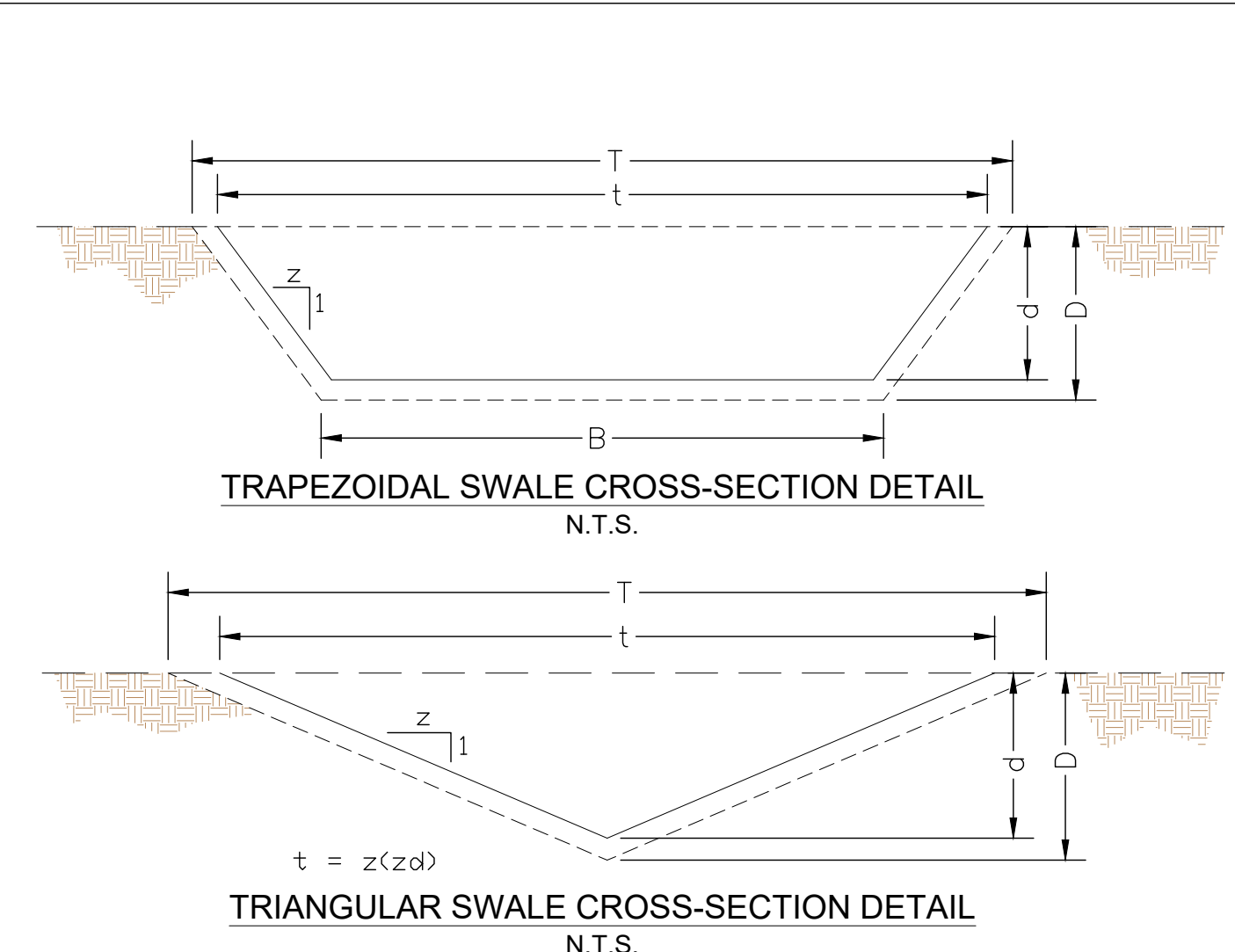
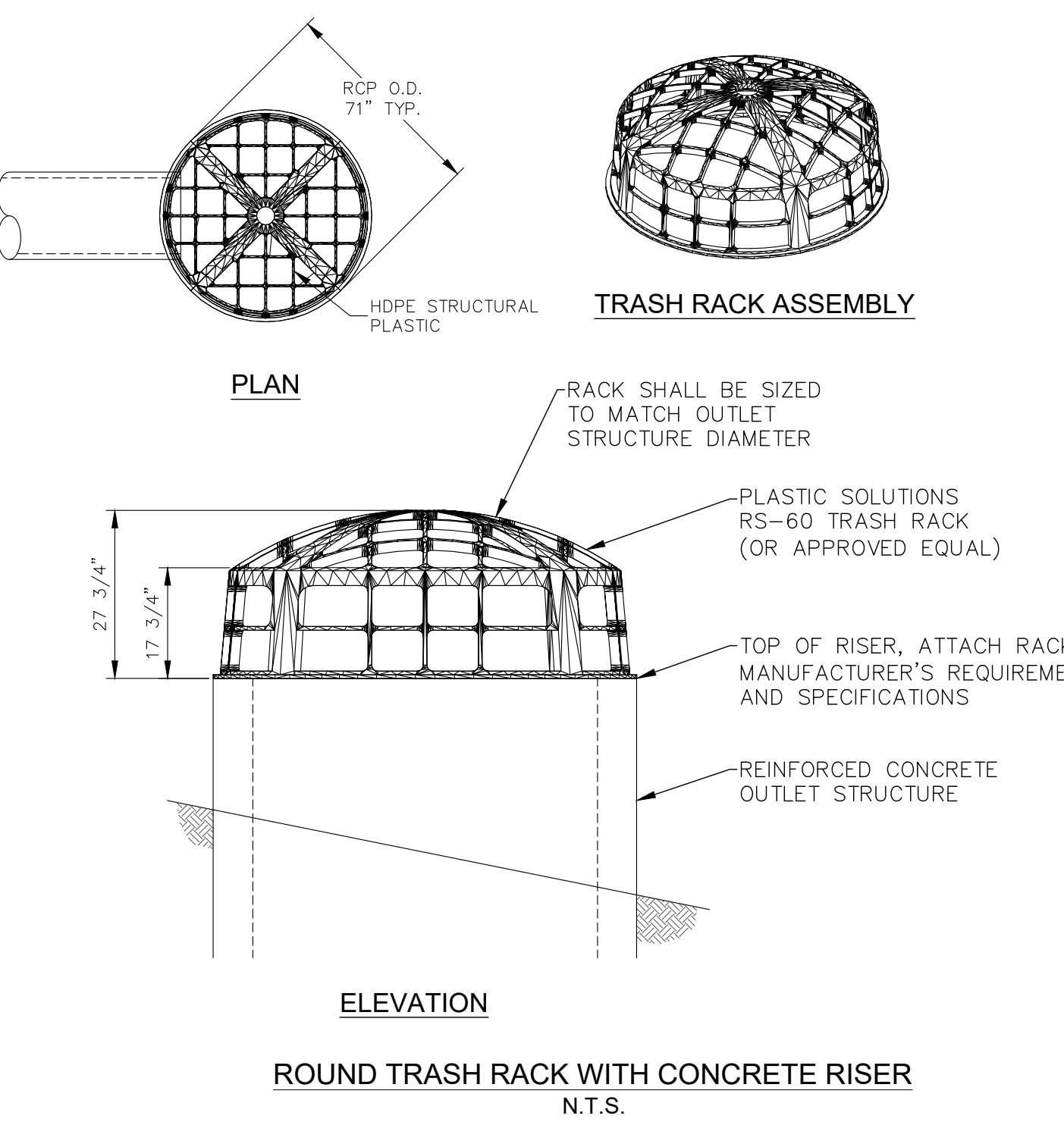
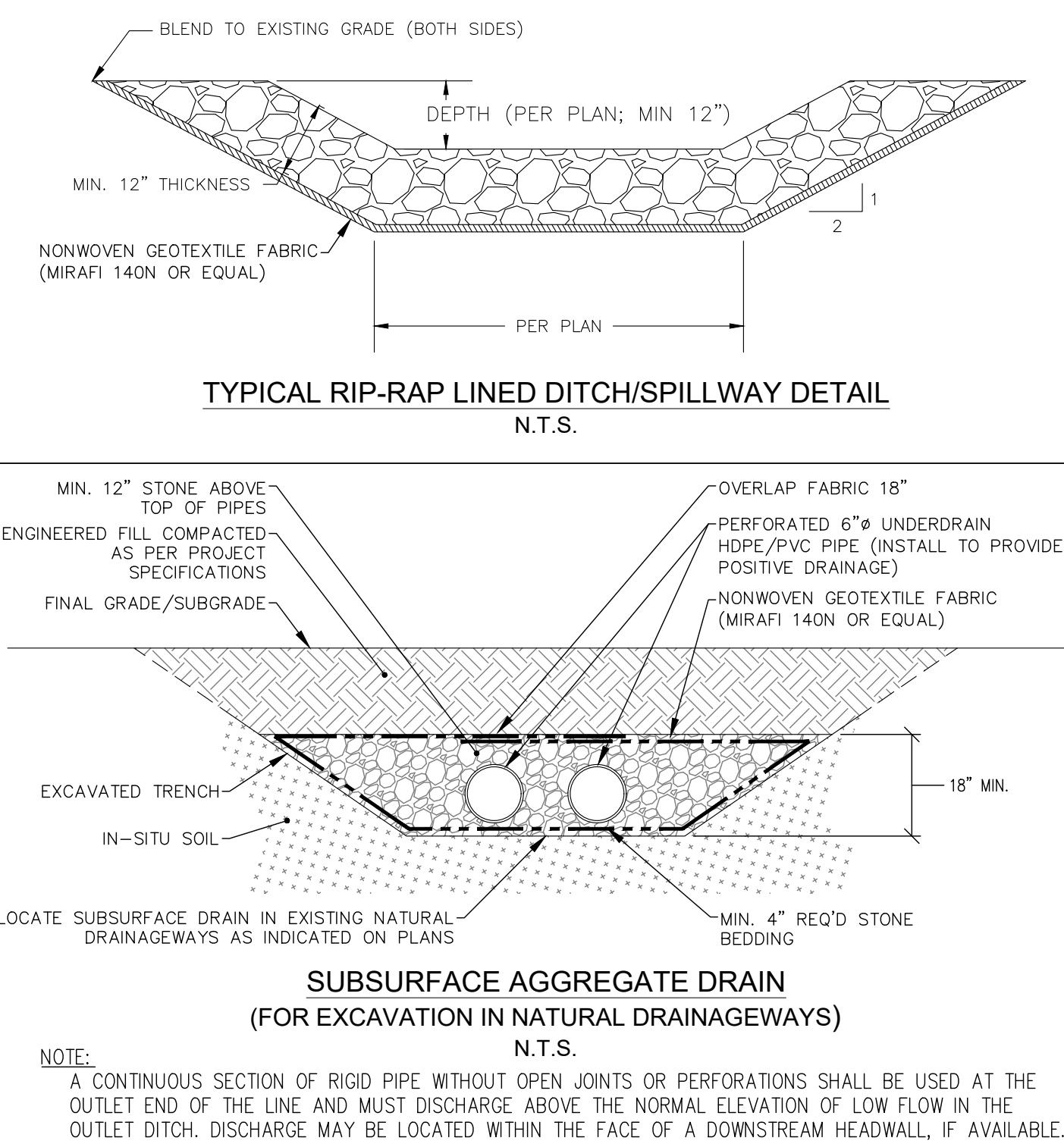
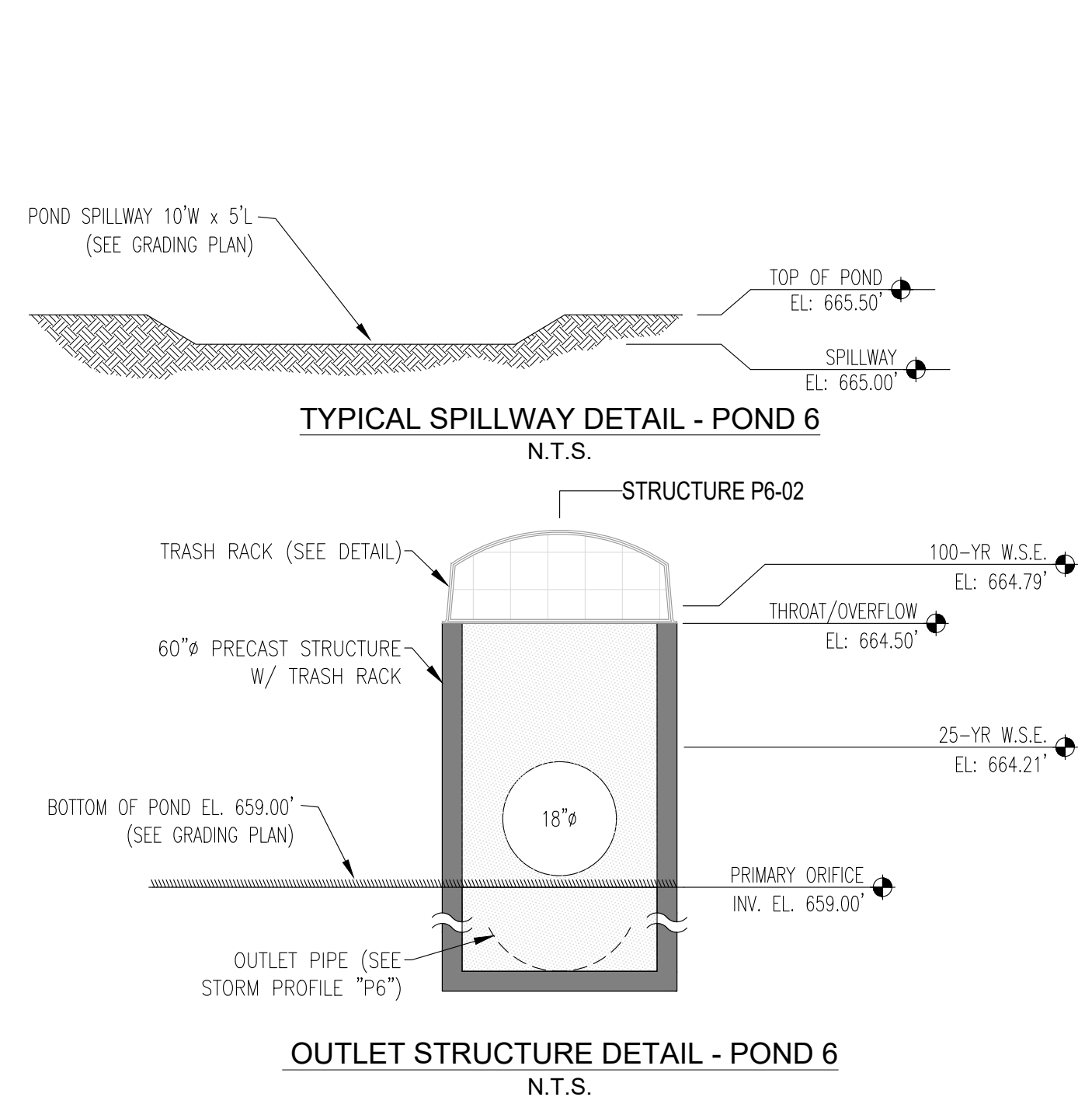
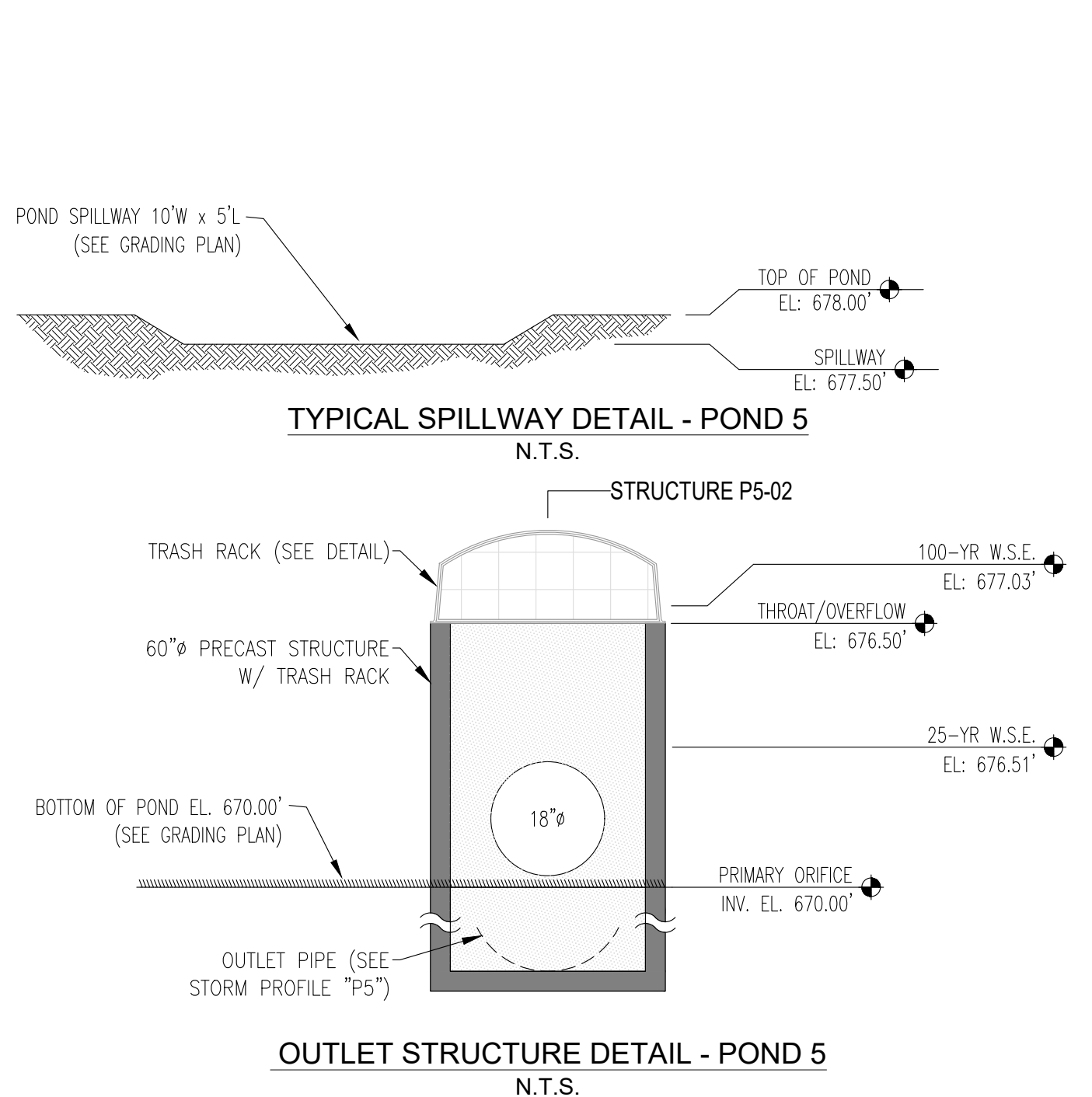
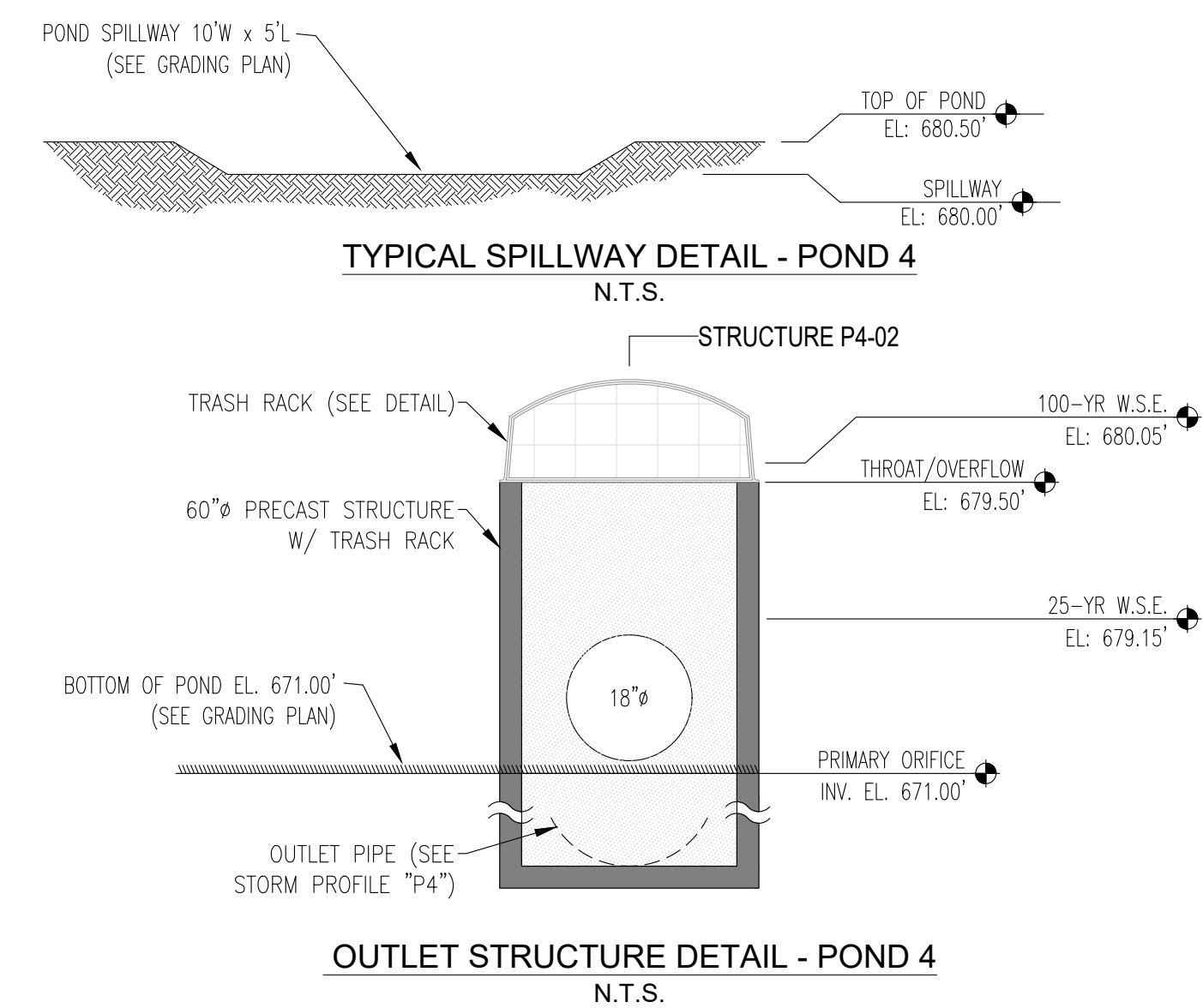
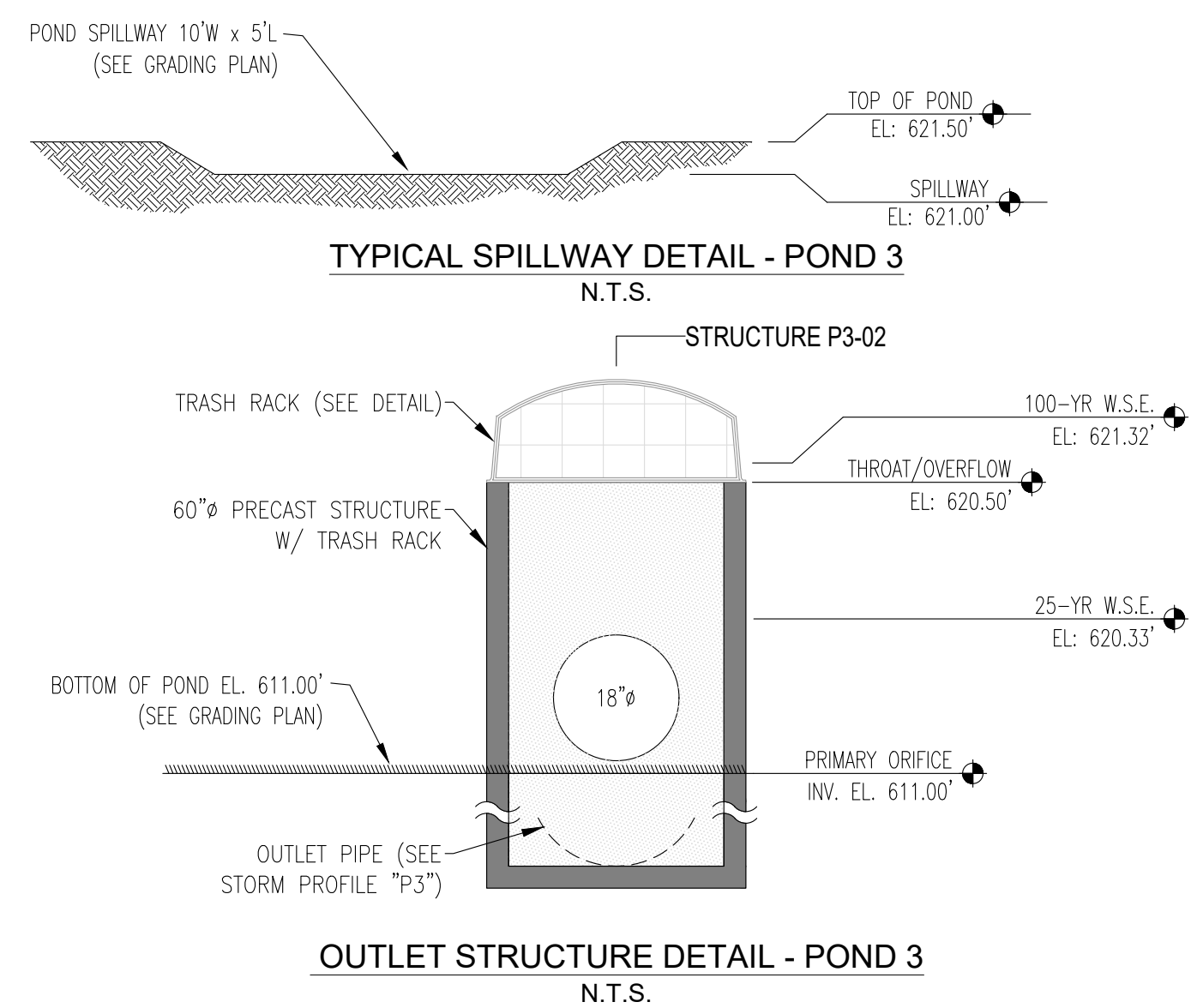
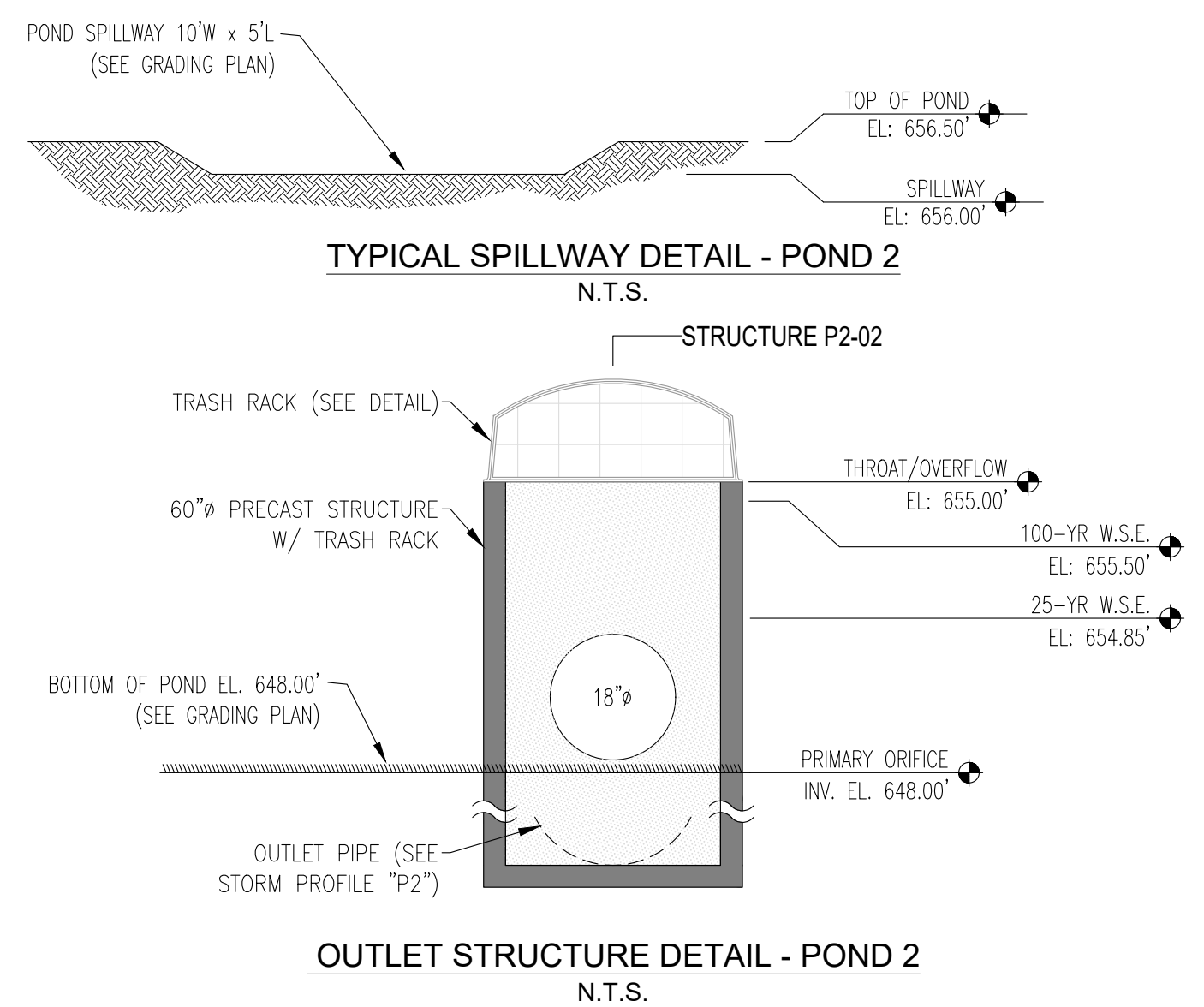
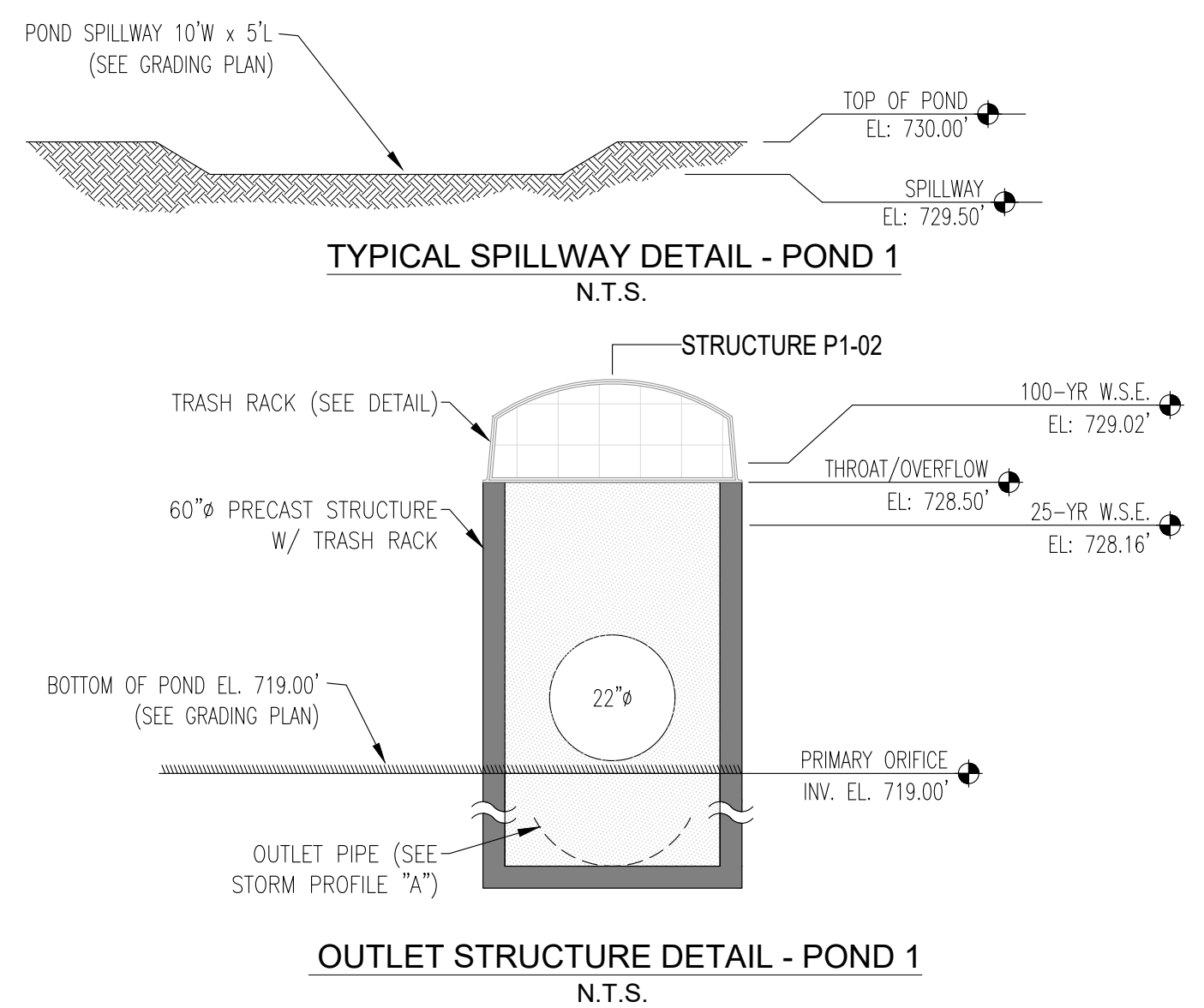
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**GRAND RIVER SOUTH
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 CITY OF LEEDS, AL

DRAWING ISSUE	
DESCRIPTION	DATE
DRAWING TITLE	
PROJECT DETAILS 3 - EROSION	
DRAWING NO.	
C9.02	
SCALE	
AS NOTED	
SHEET	
70 of 75	
DRAWN:	CHECKED:
BDT	BDT
Job # 002-21	

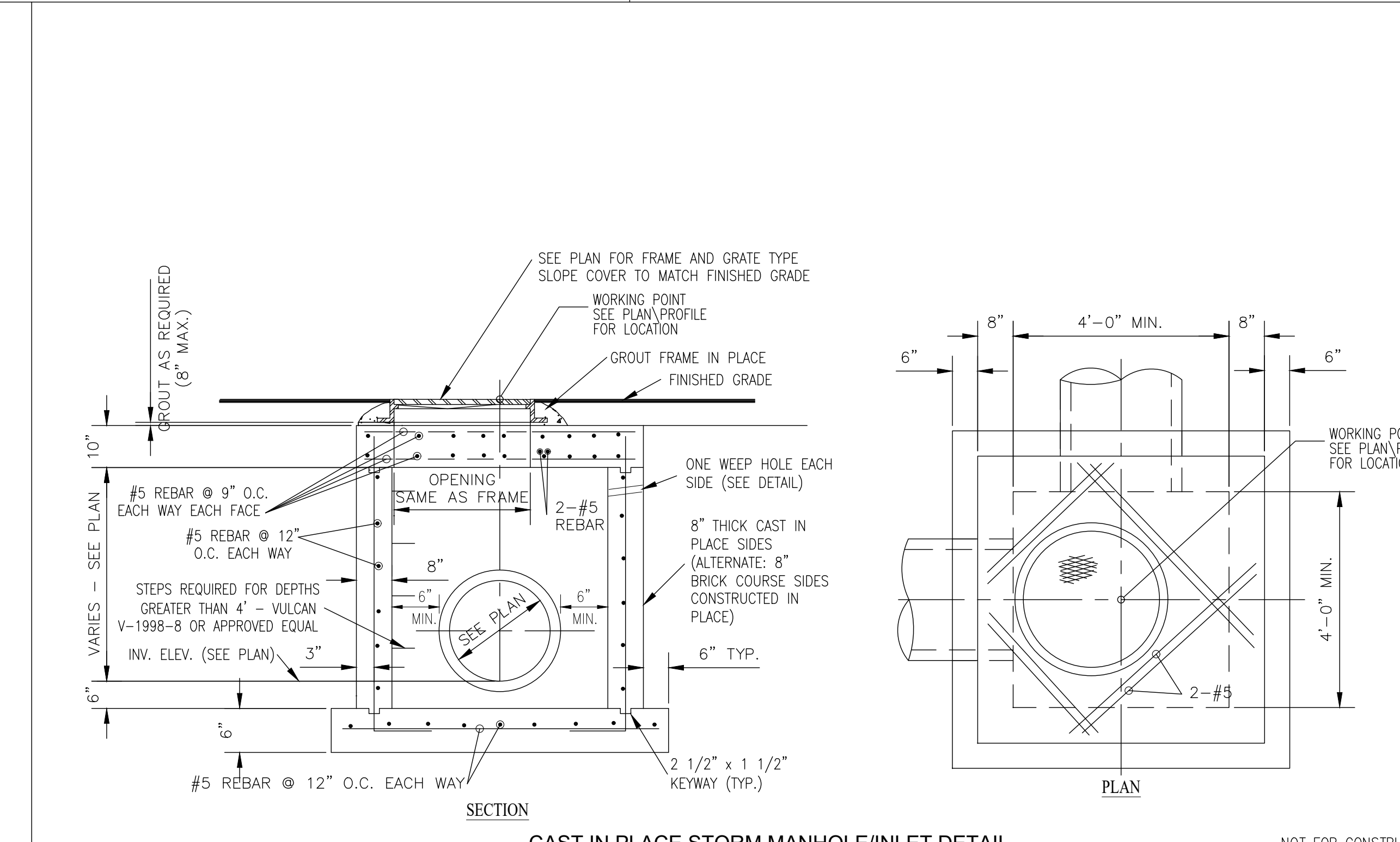
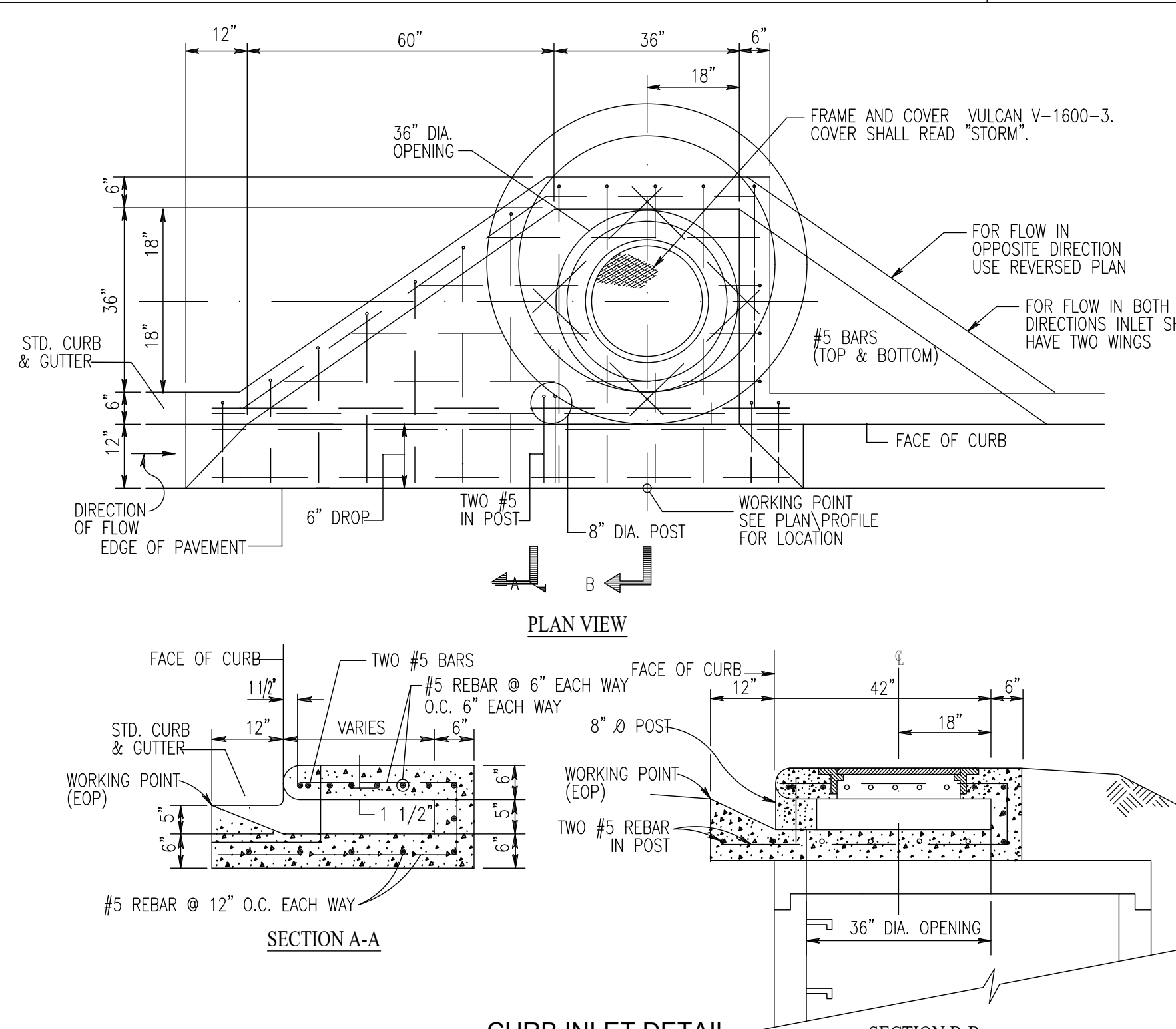
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 ISSUED FOR PERMITTING
 DATE: JANUARY 23, 2024



NOTES:

- UNLESS NOTED OTHERWISE, MINIMUM DIMENSIONS OF BOTH TRAPEZOIDAL AND TRIANGULAR SWALE DITCHES SHALL BE:
 - TOP WIDTH T = 4'-0"
 - SIDE SLOPE z = 2:1
 - BOT. WIDTH B = 2'-0" (TRAP. ONLY)
 - DESIGN DEPTH d = 2'-0"
- UNLESS SPECIFIED OTHERWISE, ALL DITCHES/SWALES NOTED ON THE DRAWINGS SHALL BE LINED WITH A ROLLED EROSION CONTROL PRODUCT RATED FOR CHANNEL APPLICATIONS AND PERMANENT INSTALLATION. CONTRACTOR MAY SELECT PRODUCT/MANUFACTURER FROM ALDOT APPROVED MATERIALS LIST II-11 ("ROLLED AND HYDRAULIC EROSION CONTROL PRODUCTS"), TYPE C-8 OR C-10.

B = DESIGN BOTTOM WIDTH
d = DESIGN DEPTH
D = DESIGN DEPTH PLUS ALLOWANCE FOR VEGETATIVE LINING
t = DESIGN TOP WIDTH
T = DESIGN TOP WIDTH PLUS ALLOWANCE FOR VEGETATIVE LINING
z = SIDE SLOPE RATIO



SEAL

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CITY OF LEEDS, AL

DRAWING ISSUE	
DESCRIPTION	DATE

DRAWING TITLE
**PROJECT DETAILS
4 - STORM**

DRAWING NO.
C9.03

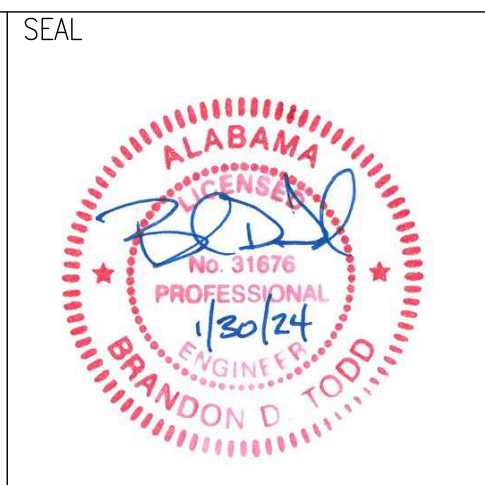
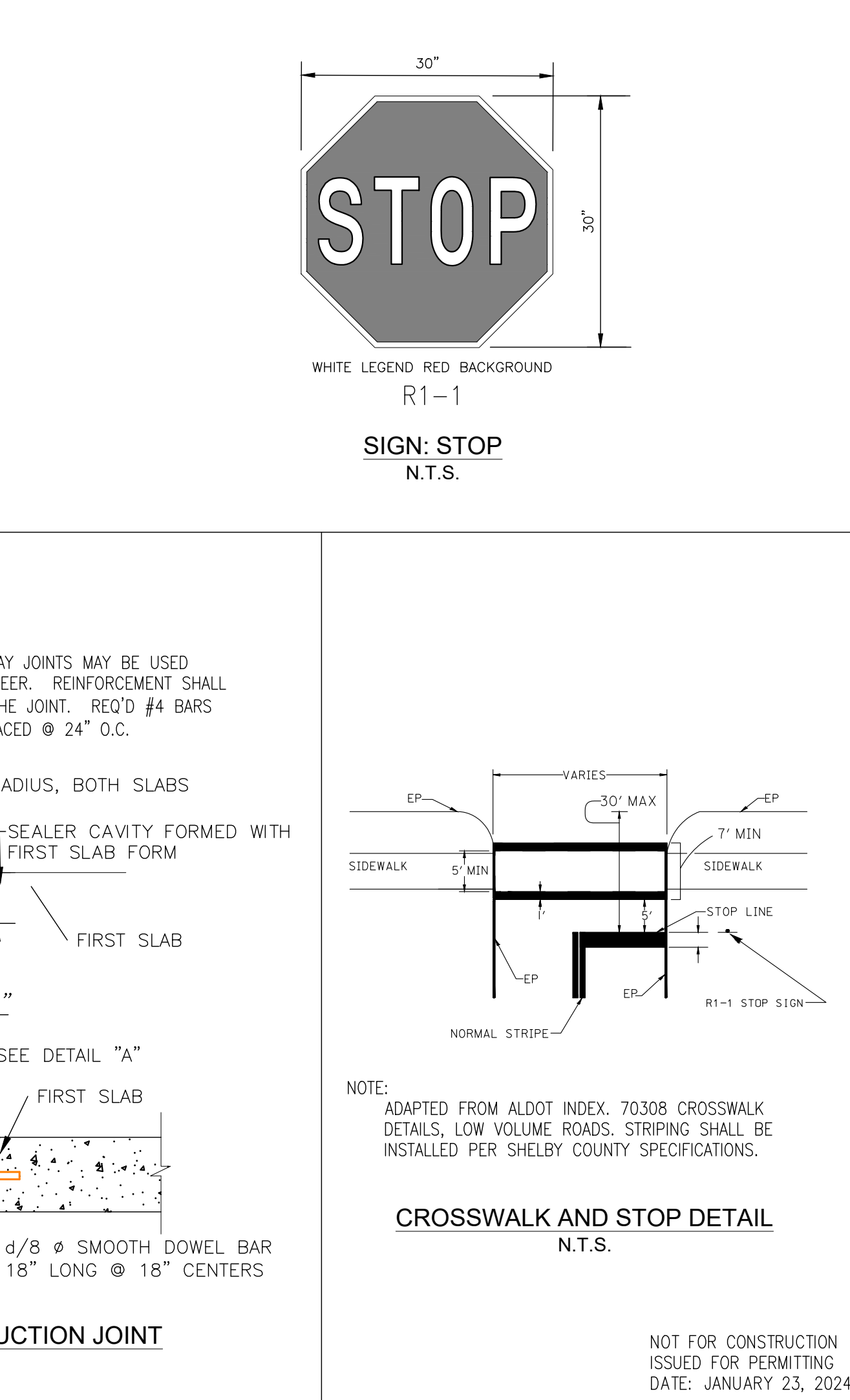
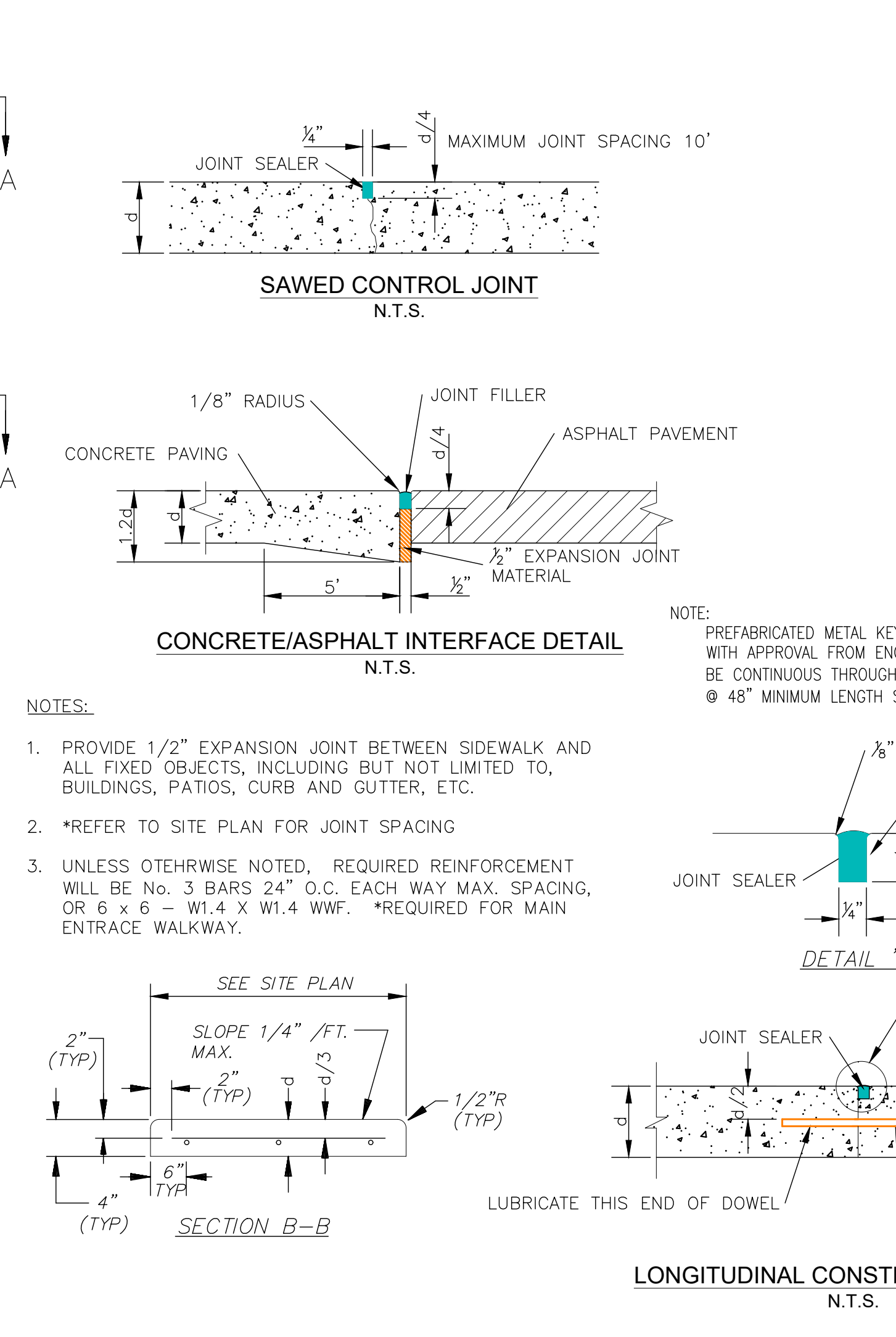
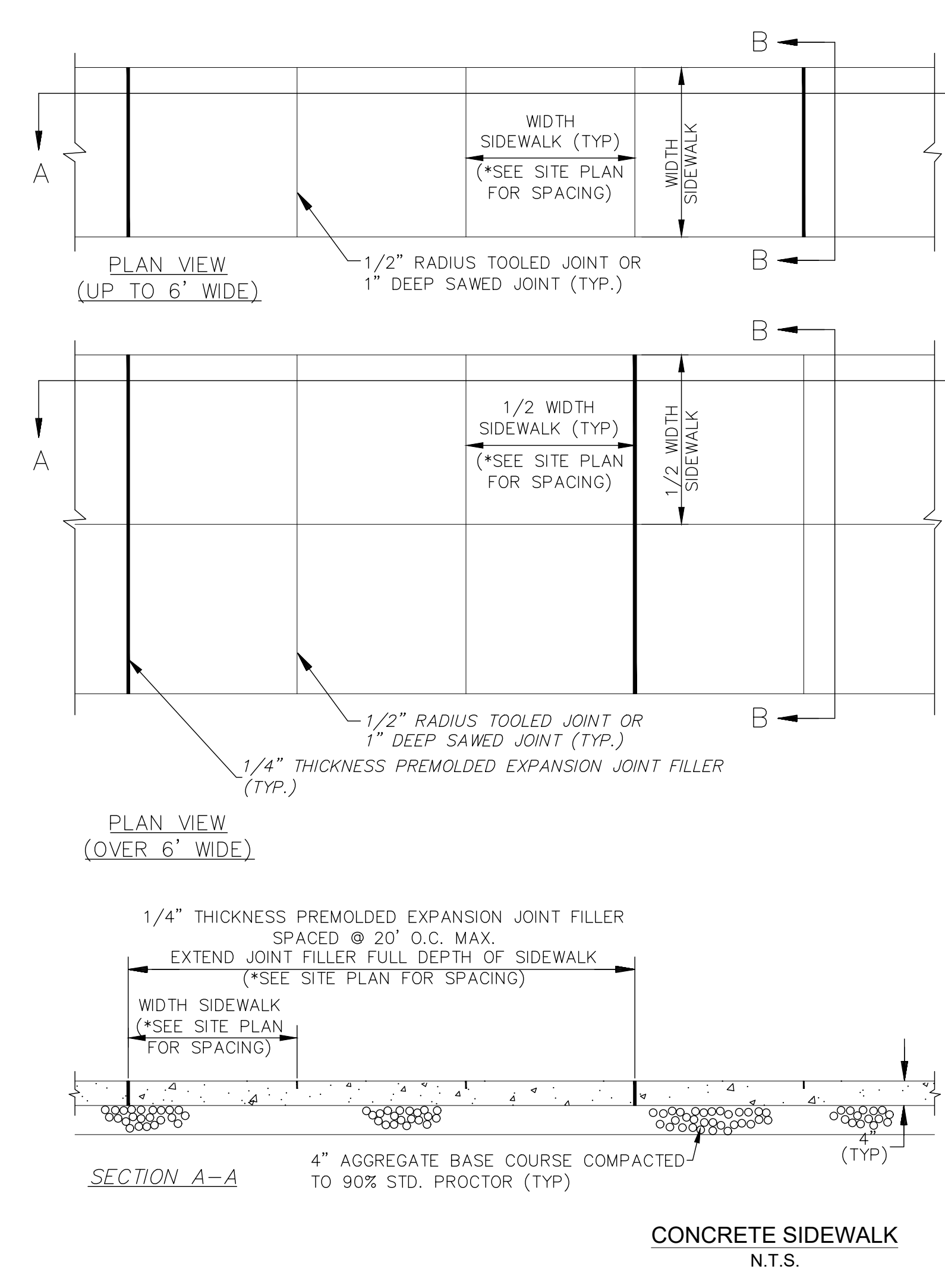
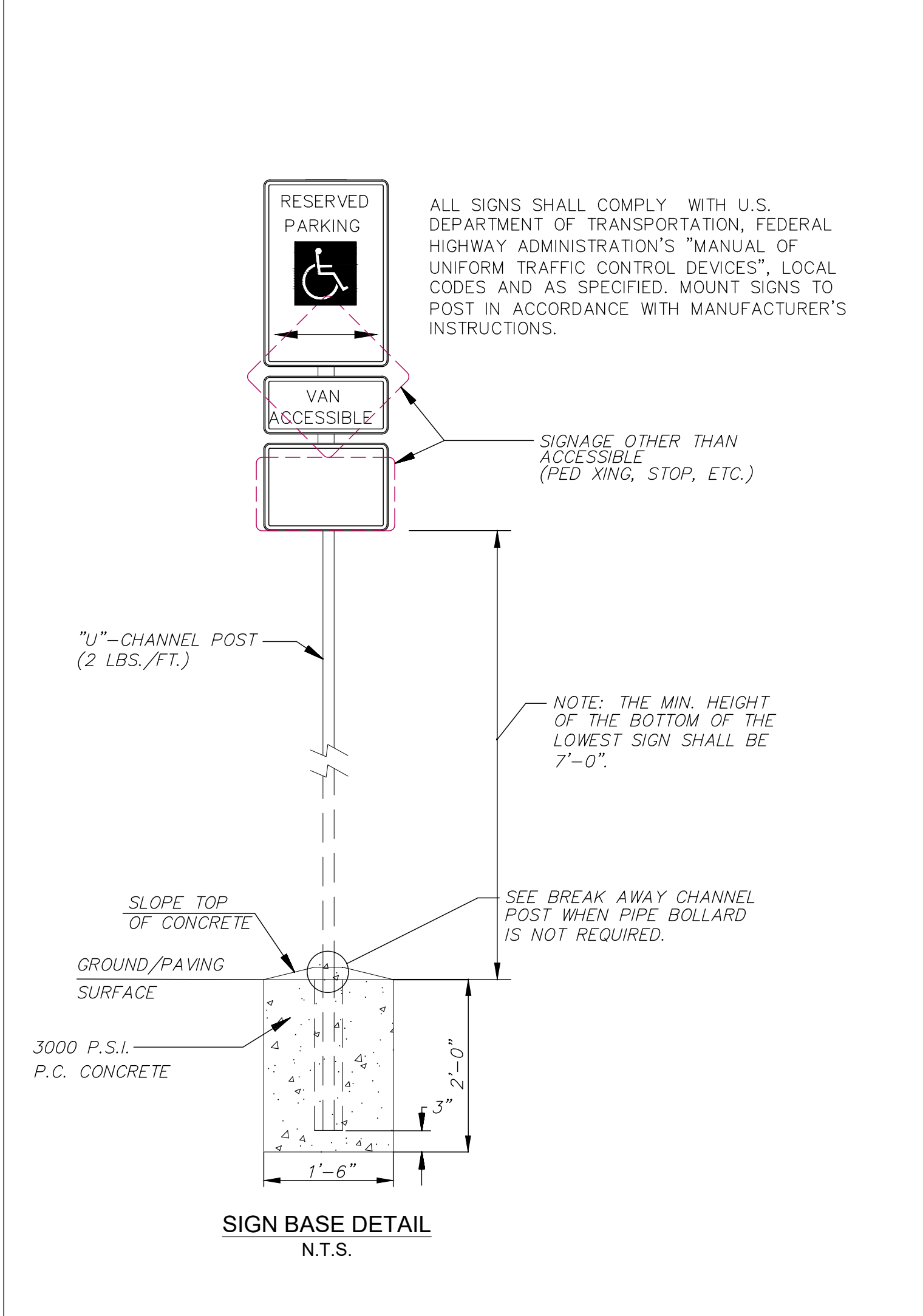
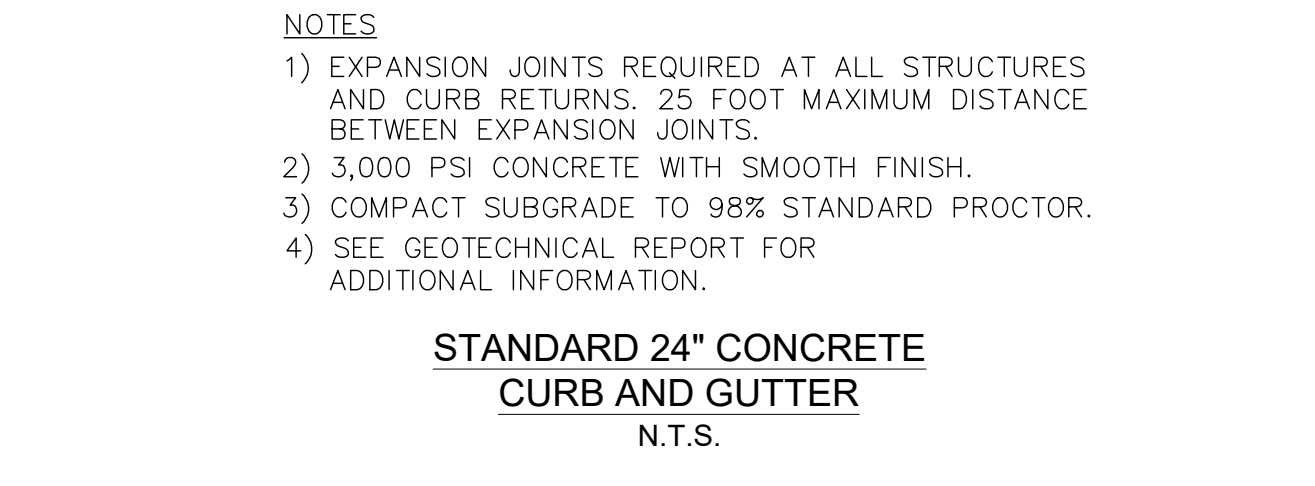
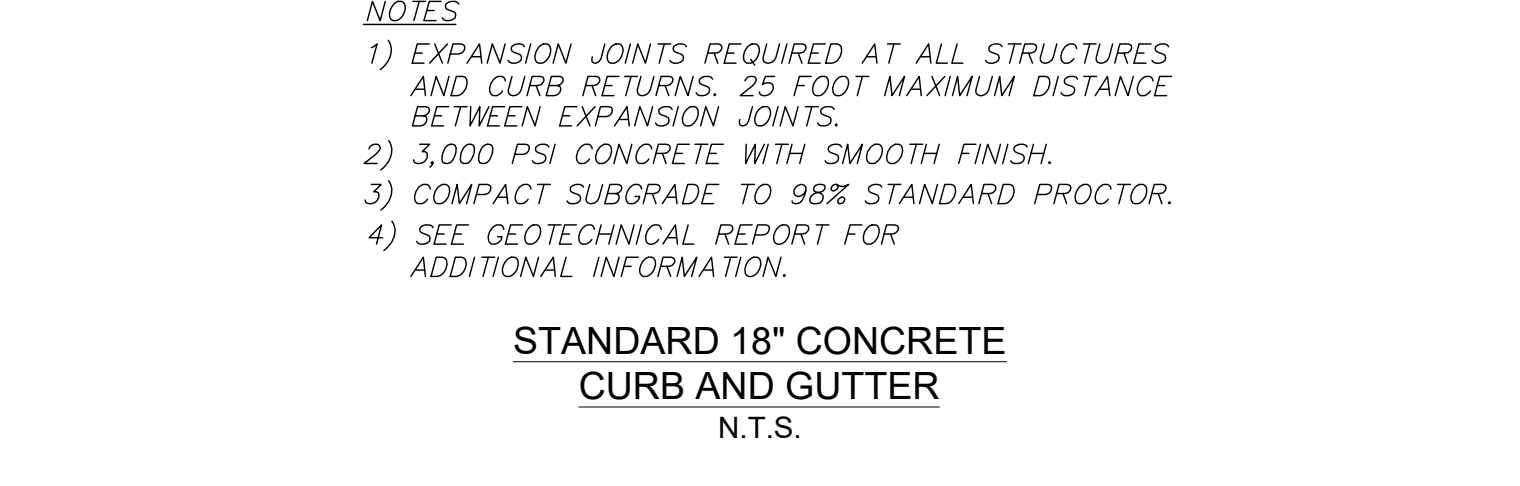
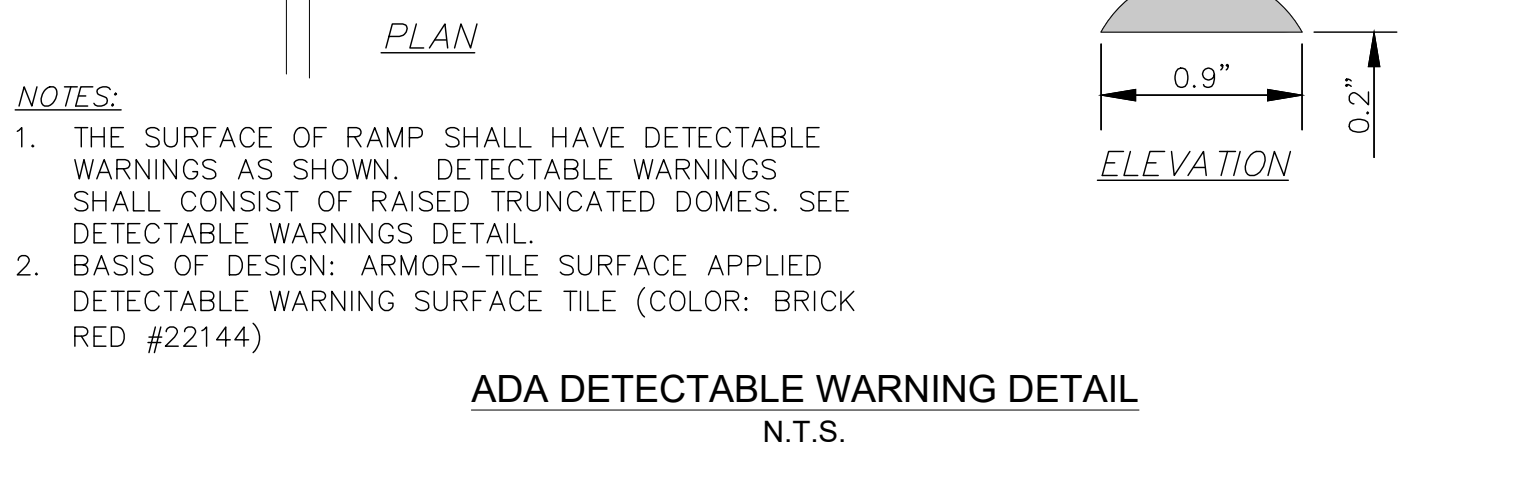
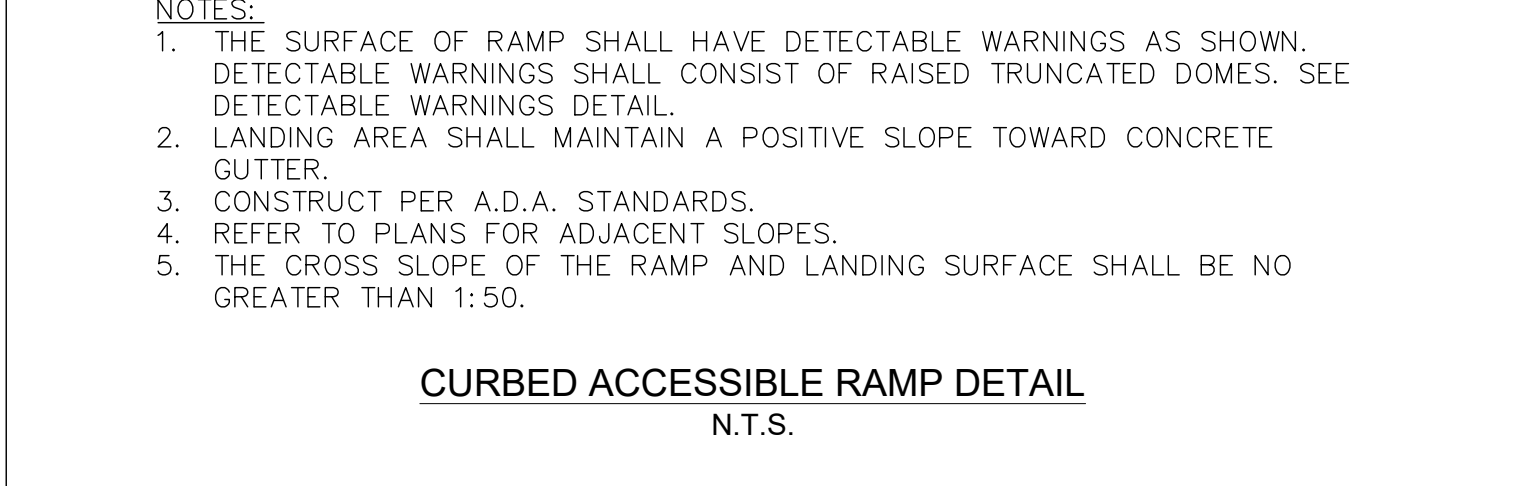
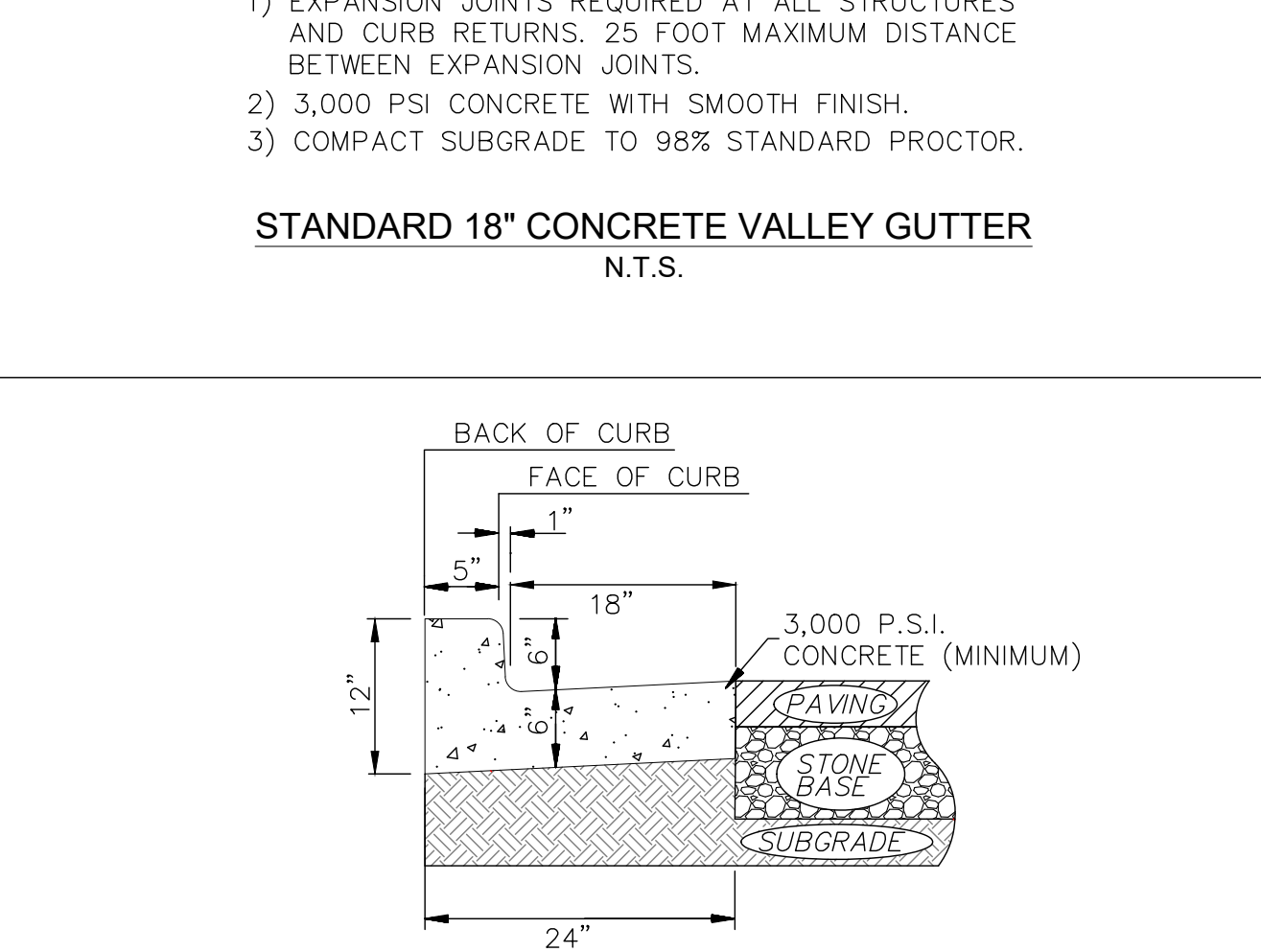
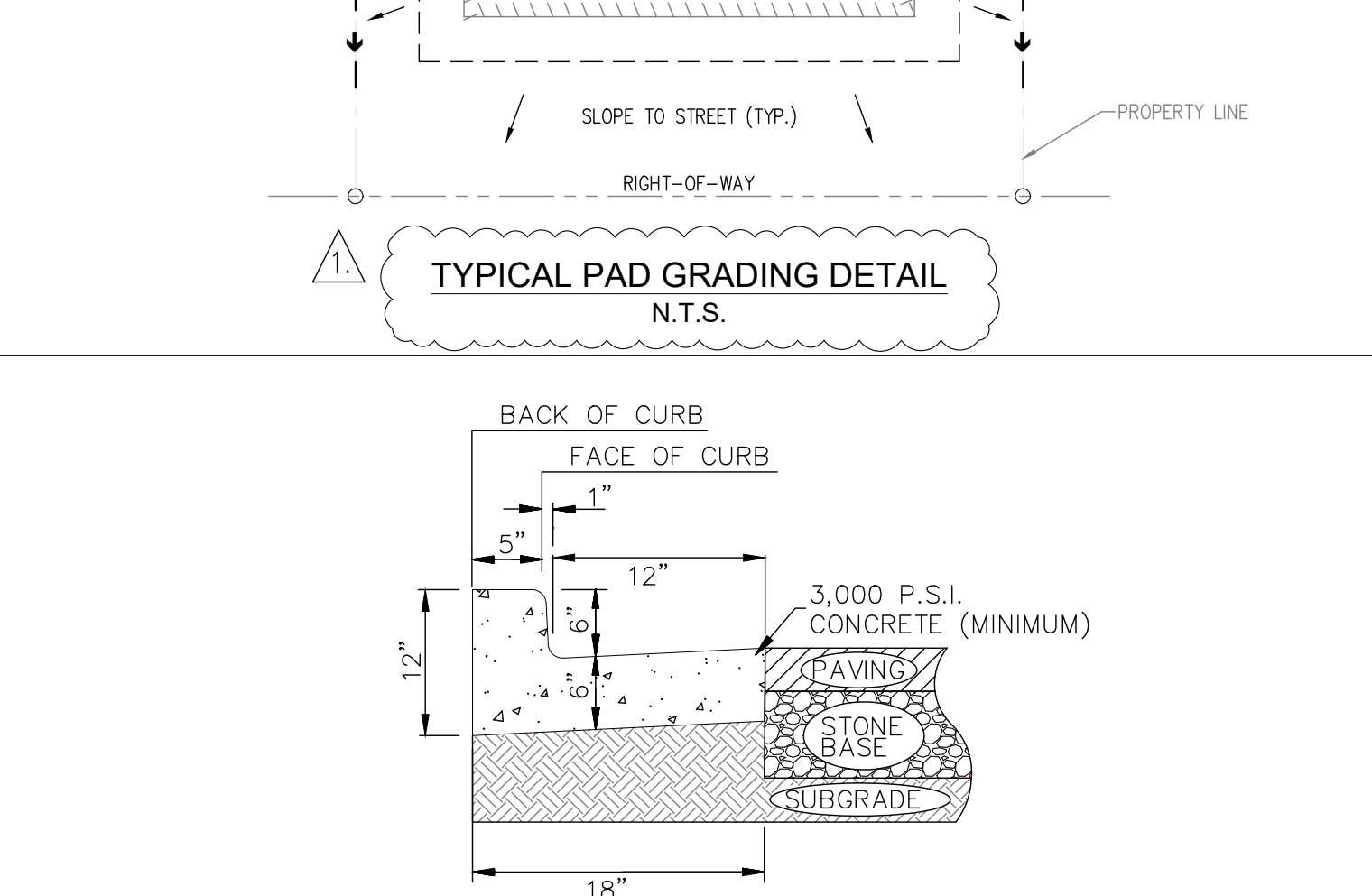
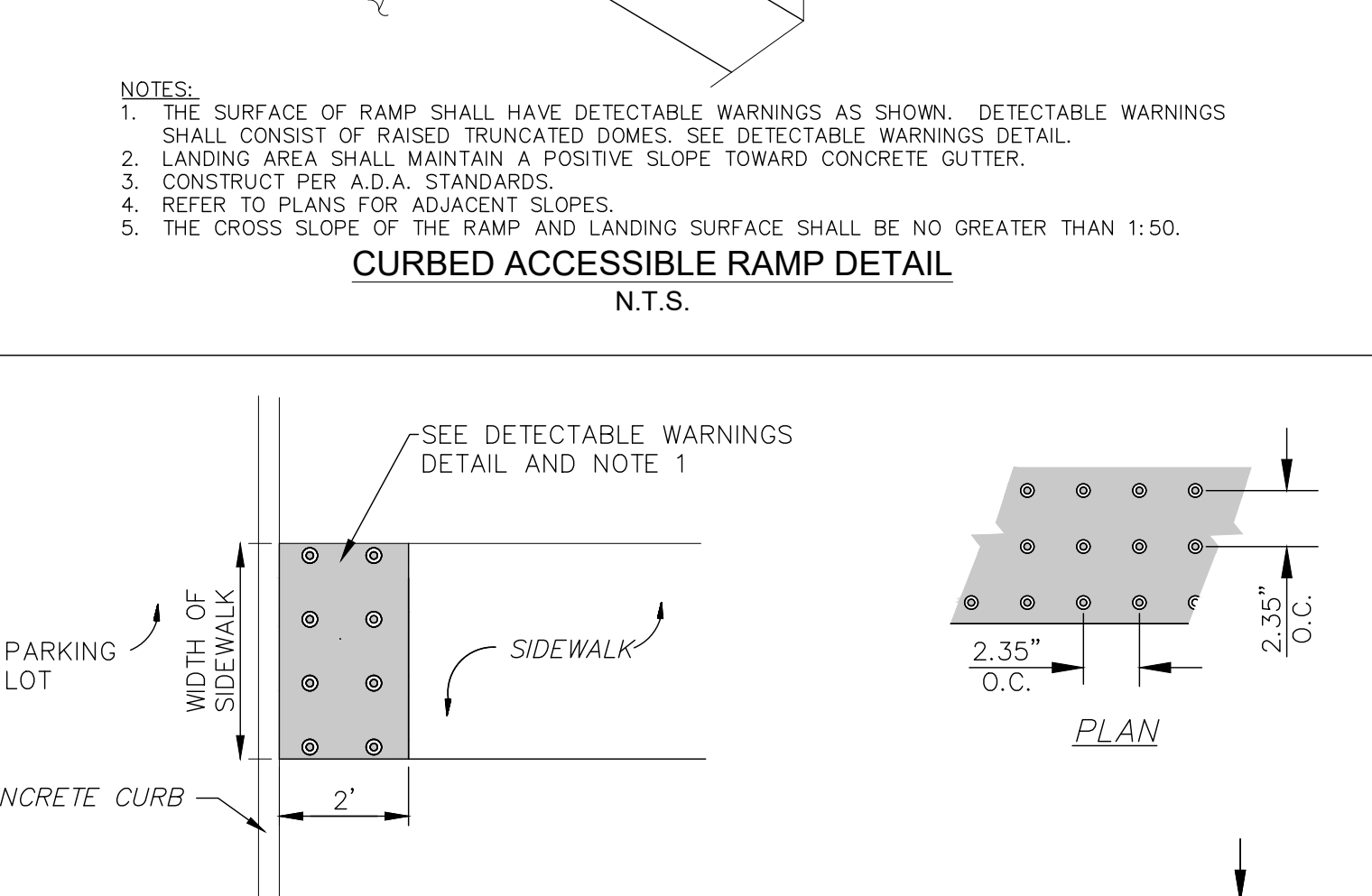
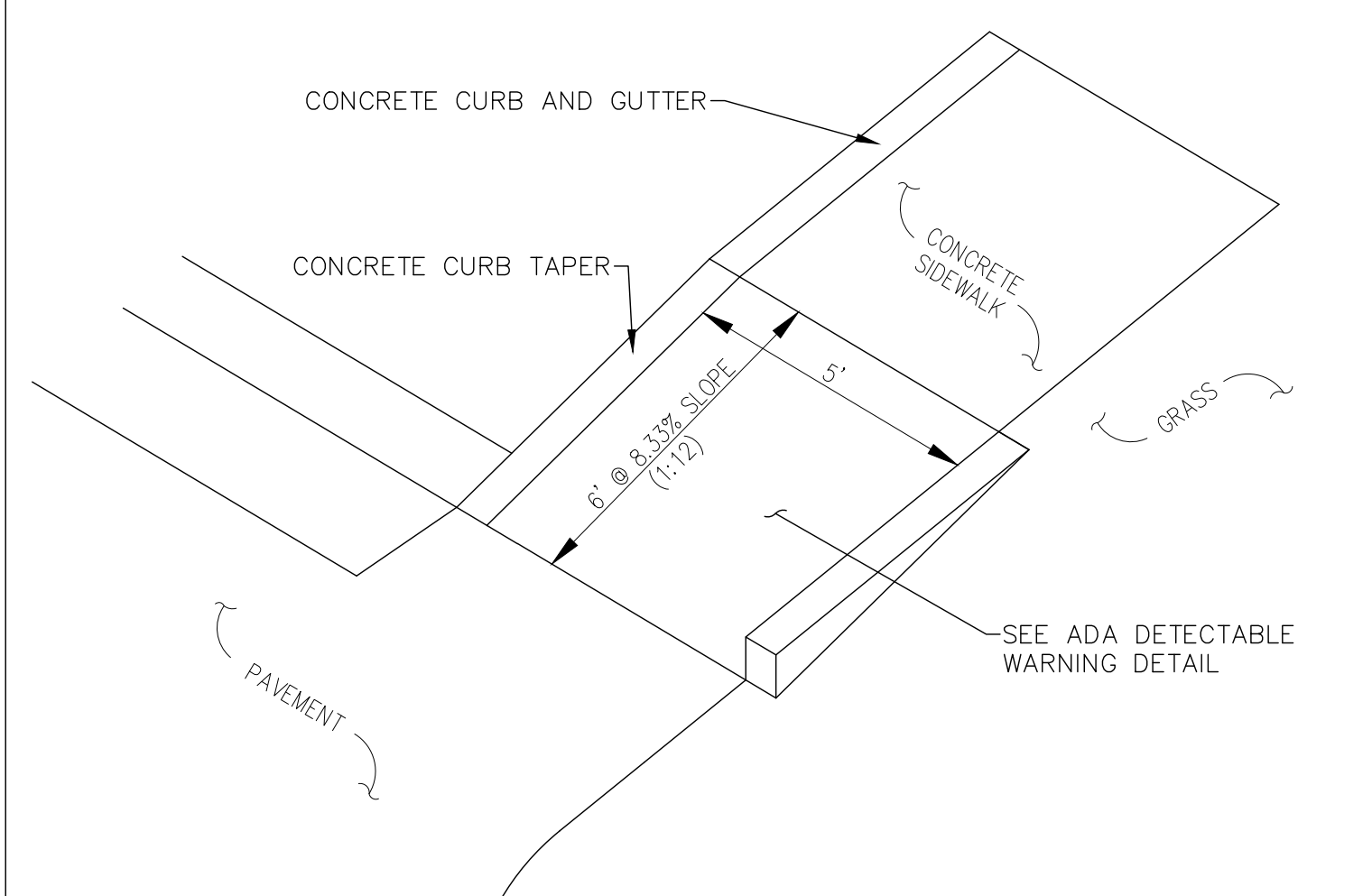
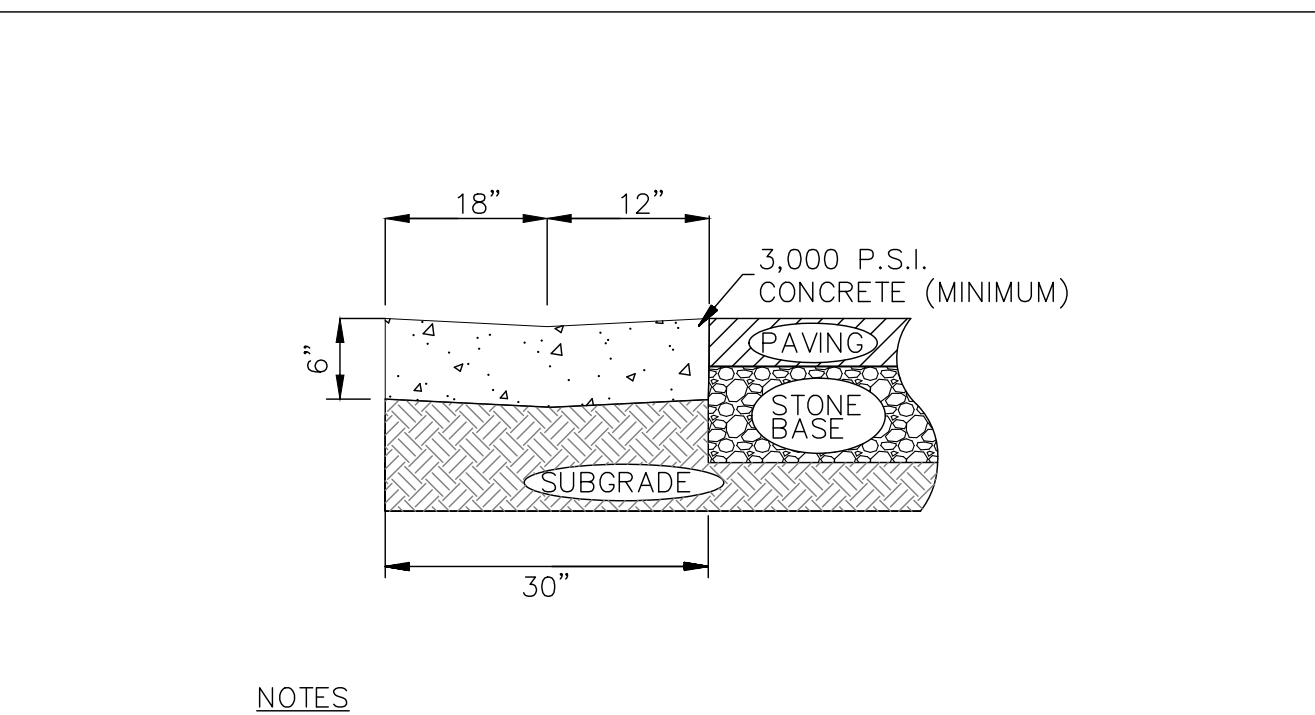
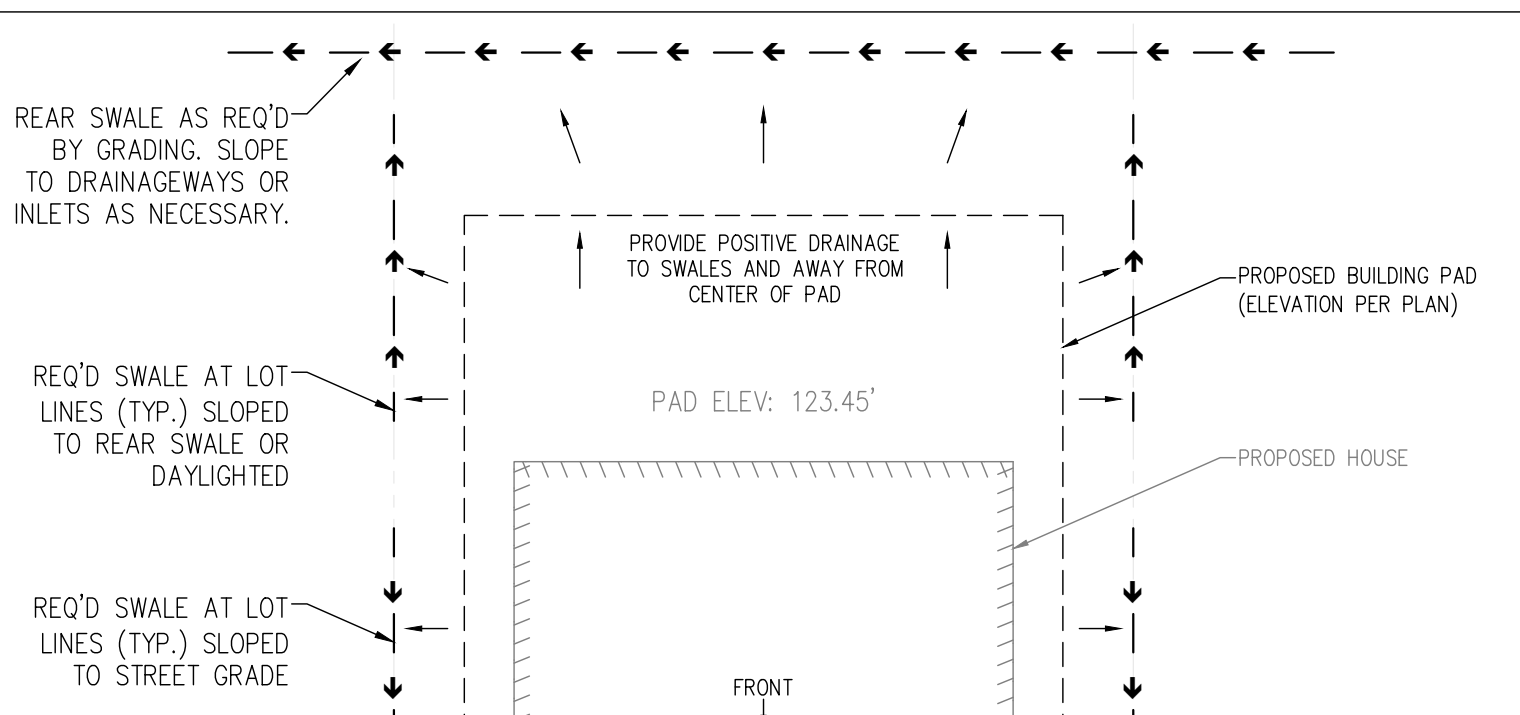
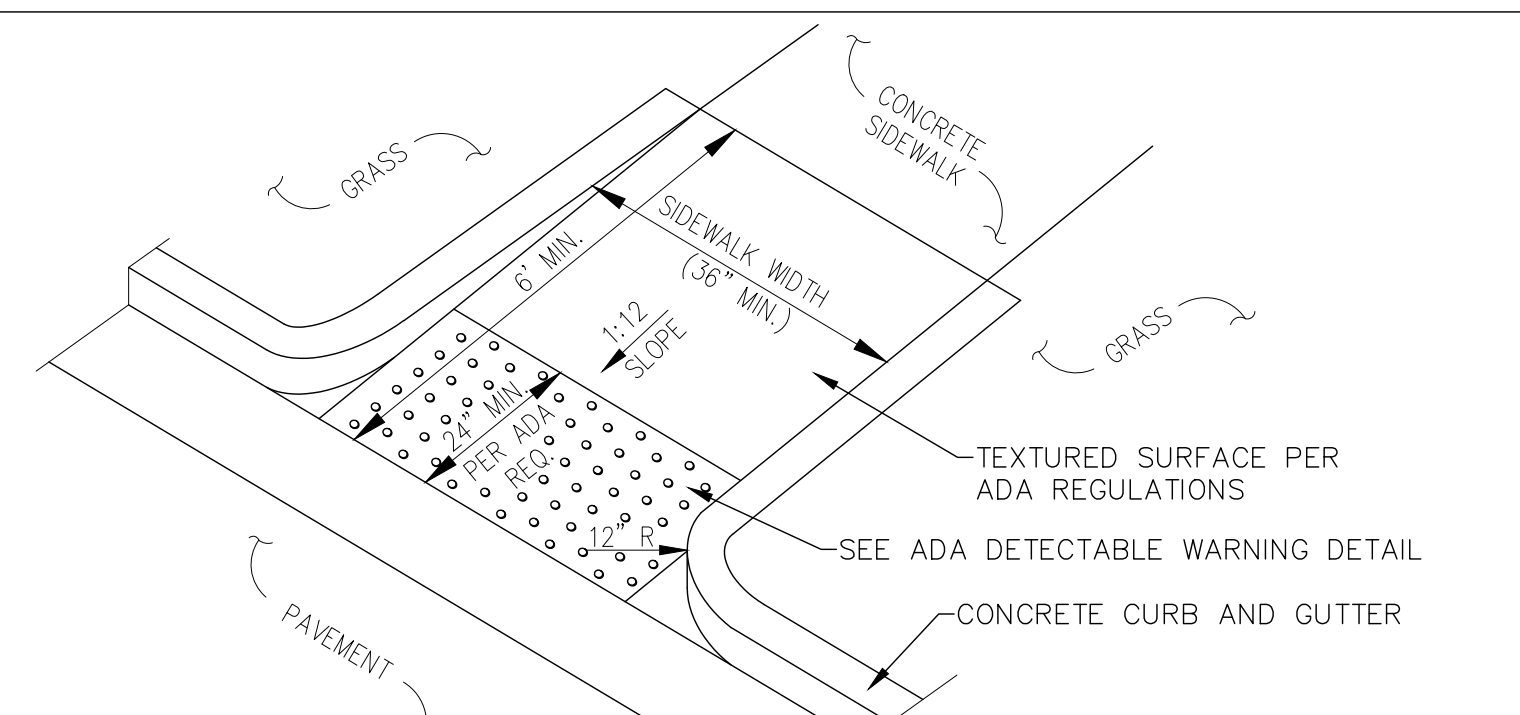
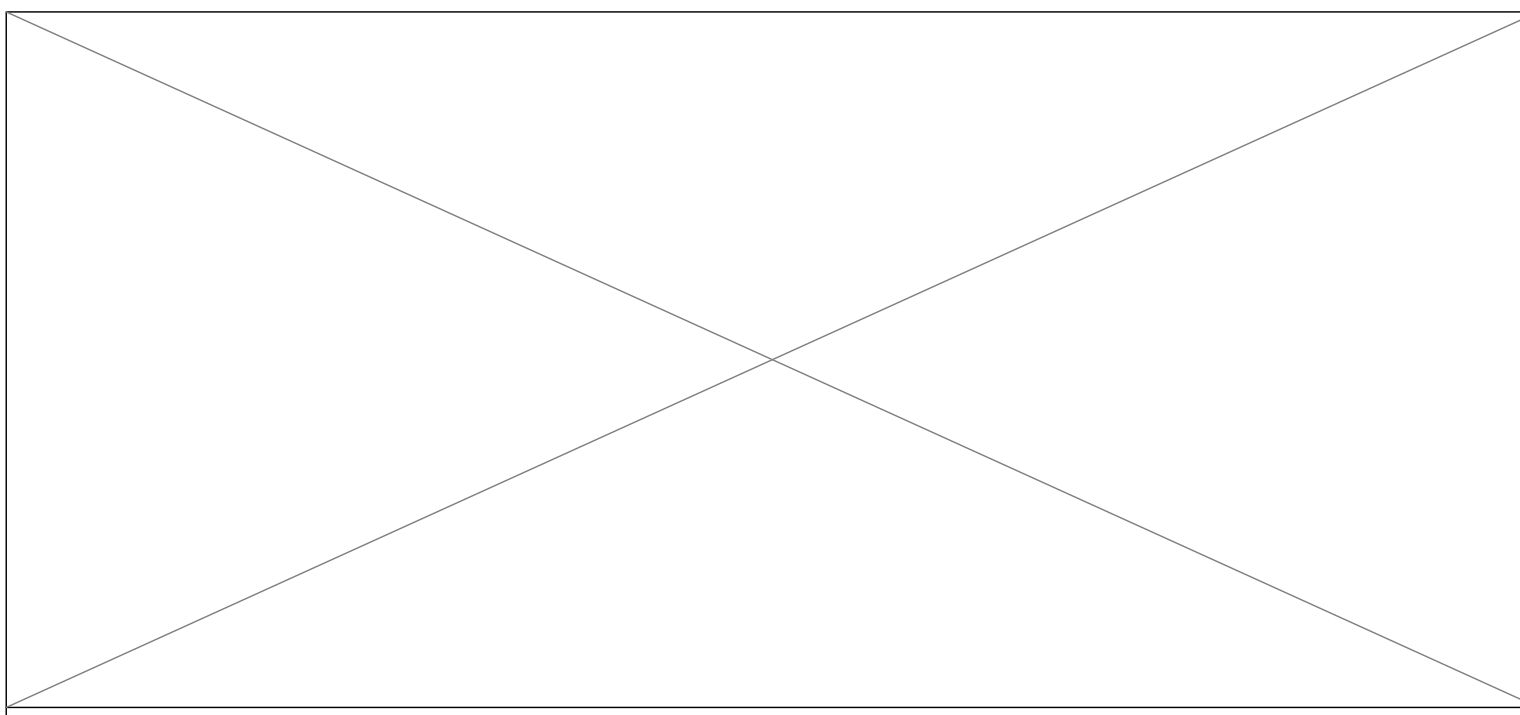
SCALE
AS NOTED

SHEET
71 of 75

DRAWN: BDT	CHECKED: BDT
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Job # **002-21**

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 CITY OF LEEDS, AL

DRAWING ISSUE

DESCRIPTION	DATE
01. PAD GRADING DETAIL	09/18/2023

DRAWING TITLE
**PROJECT DETAILS
 5 - SITE**

DRAWING NO.
C9.04

SCALE
 AS NOTED

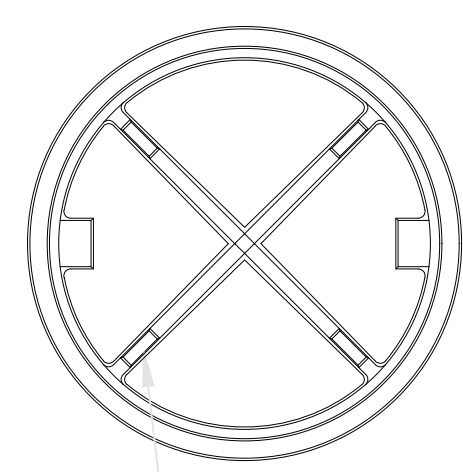
SHEET
 72 of 75

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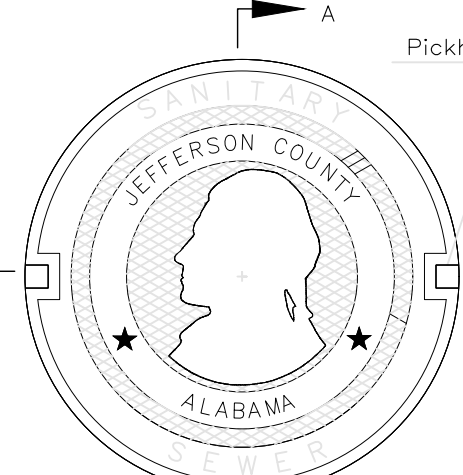
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Job # 002-21

NOT FOR CONSTRUCTION
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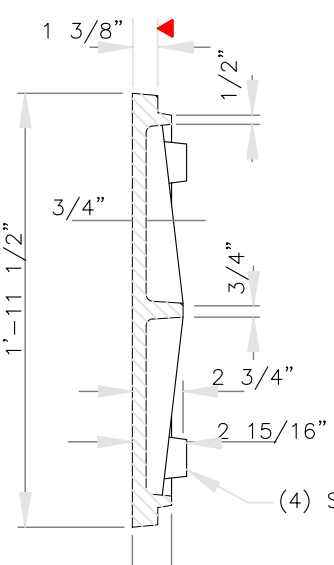


COVER BACK
N.T.S.

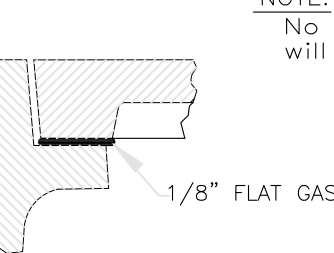


COVER TOP
N.T.S.

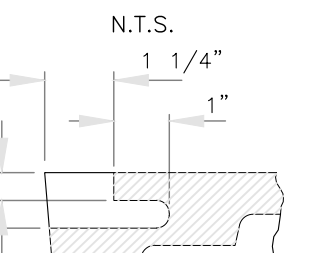
ESTIMATED WEIGHTS
FRAME 174 LBS.
COVER 124 LBS.



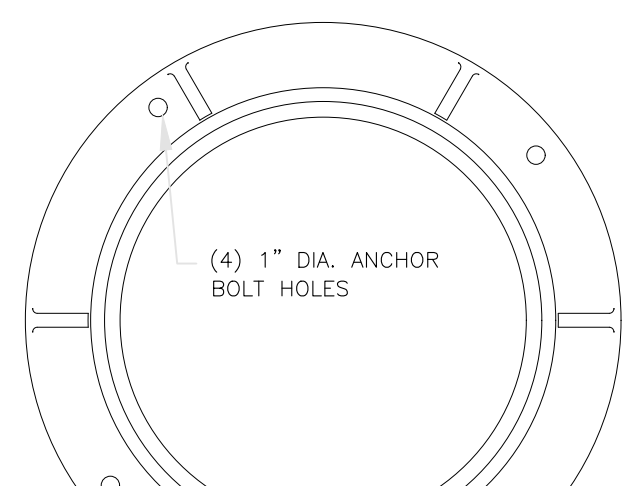
SECTION A-A
N.T.S.



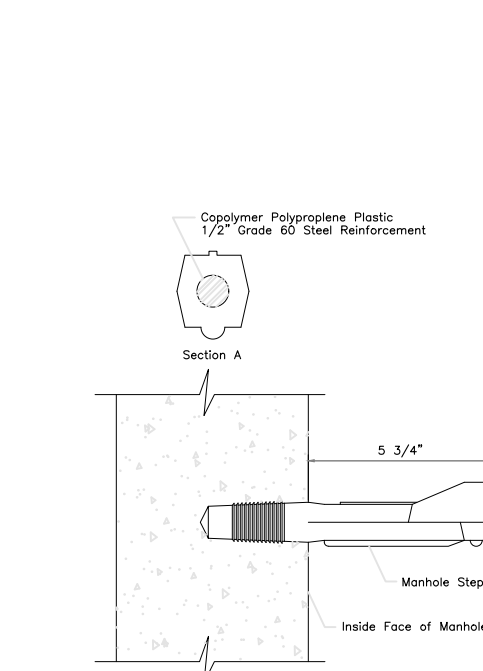
GASKET DETAIL
N.T.S.



PICKHOLE DETAIL
N.T.S.

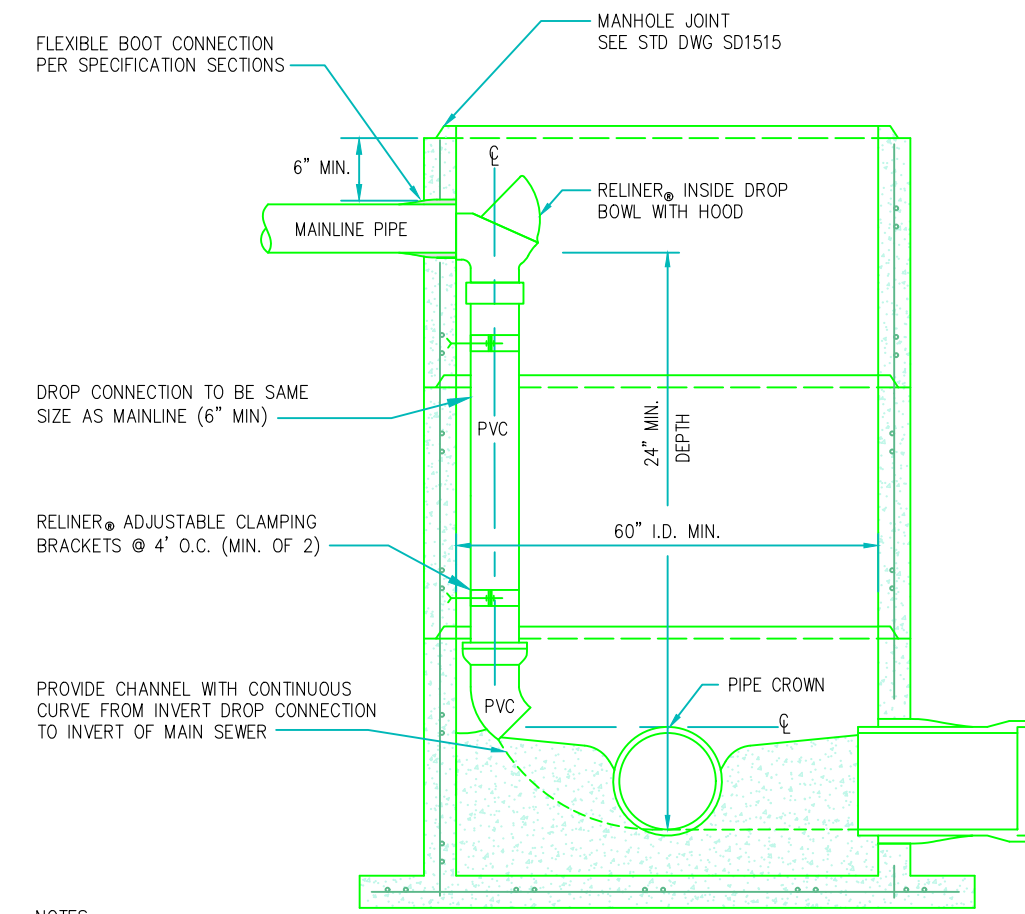


FRAME
N.T.S.



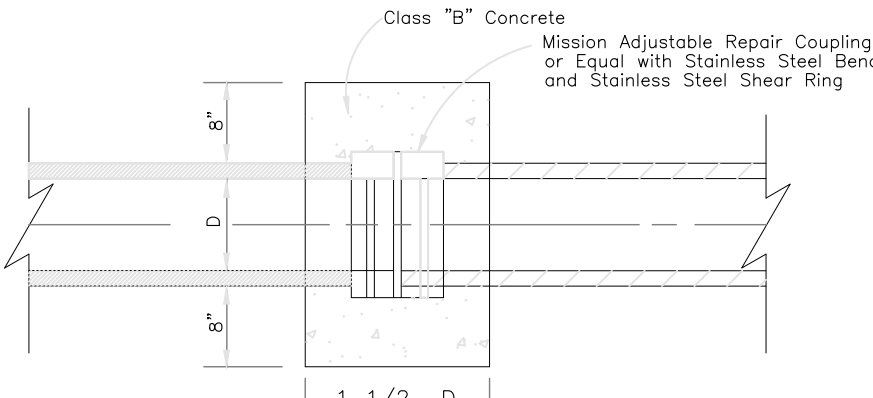
MANHOLE STEP DETAILS
N.T.S.

NOTES:
1. Mark and steel step shall be grade coated reinforced steel. Plastic coated manhole shall not be used for applications where fire-resistance is required.
2. For larger diameter manholes (larger than 22") a capped aluminum ladder shall be used.
3. Mark and steel step shall be installed at maximum 18" intervals.

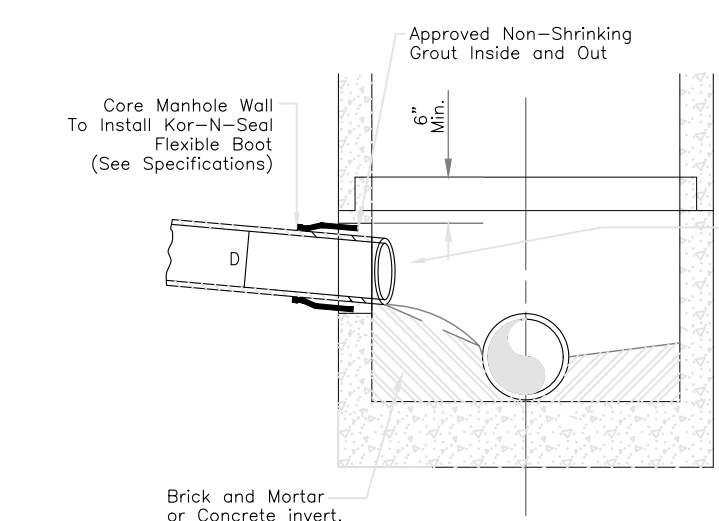


INTERIOR DROP MANHOLE DETAIL
N.T.S.

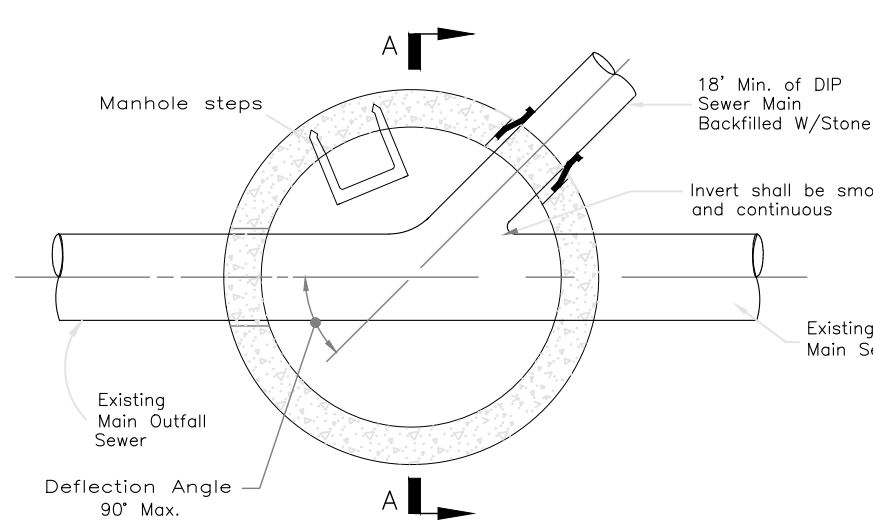
- NOTES:
1. INTERIOR DROP WITH HOOD TO BE USED IN NEW MANHOLES WHERE SHOWN.
2. PVC SHALL BE SCHEDULE 40.
3. SOLVENT WELD JOINTS ON ALL INSIDE PIPING AND FITTINGS.
4. CONNECTION FROM RELINER_® INSIDE DROP BOWL TO DROP PIPE PER MANUFACTURER'S RECOMMENDATION.
5. BOTTOM 45 DEGREE BEND TO BE AT 45 DEGREES WITH RESPECT TO THE DOWNSTREAM FLOW.
6. PRECAST CONCRETE MANHOLE TO BE IN COMPLIANCE WITH DETAIL A AND D, THIS SHEET.
7. RISER HEIGHT SHALL BE ADJUSTED TO AVOID CORING (PRECASTING) PIPE OPENINGS WITHIN 6" OF RISER JOINT.
8. NO CORING SHALL BE ALLOWED WITHIN 6" OF A MANHOLE JOINT.



TYPICAL CONCRETE COLLAR
PIPE SIZES 12" OR LESS
N.T.S.



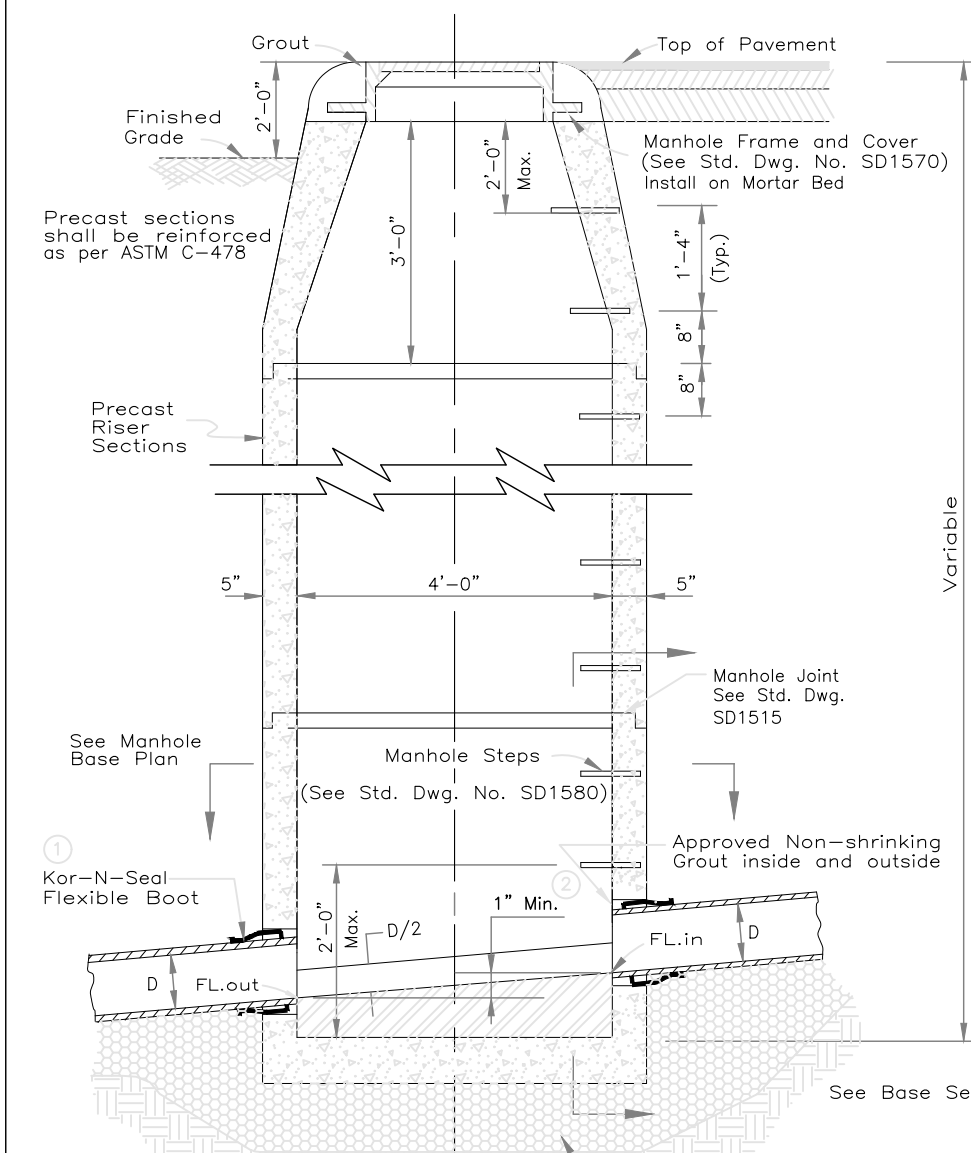
A-A SECTION



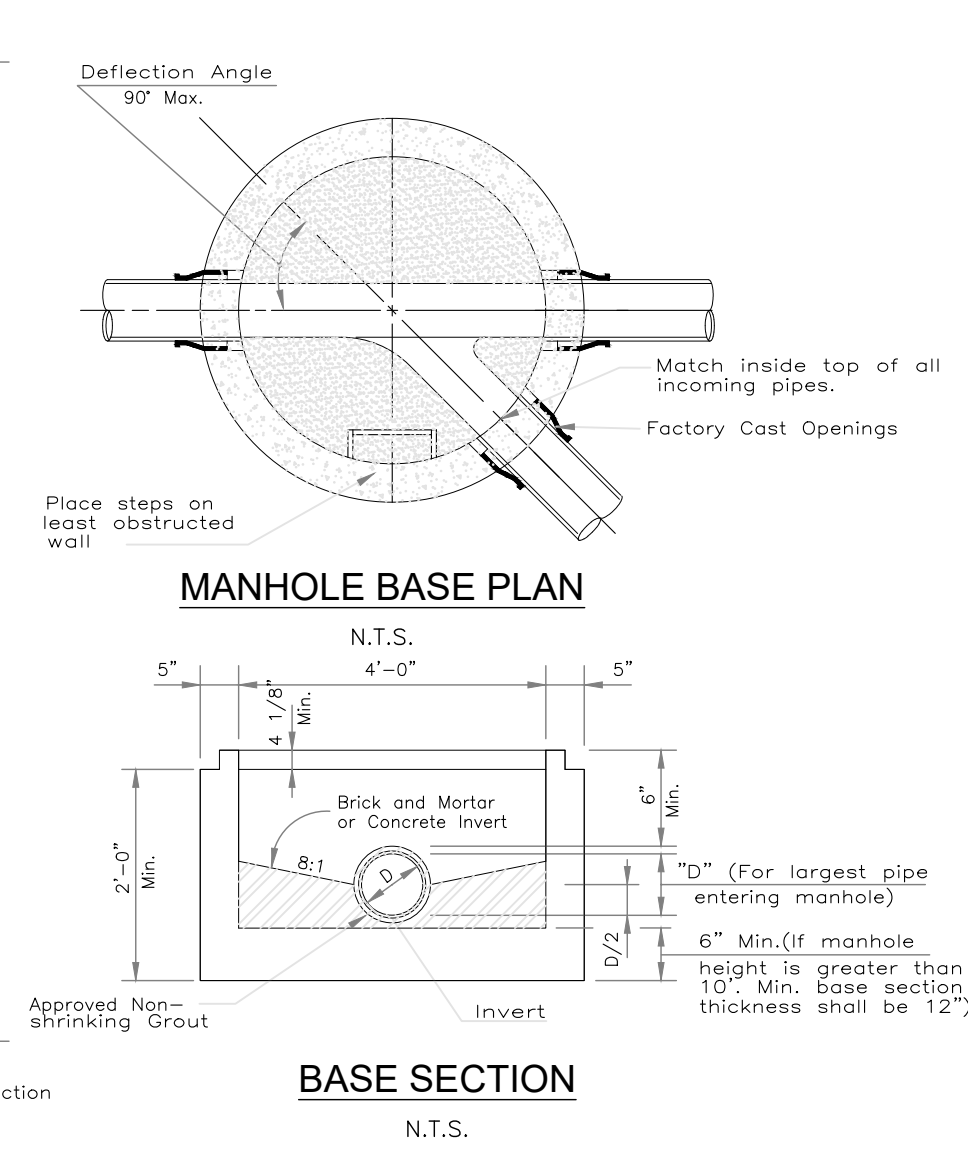
MANHOLE BASE PLAN

CONNECTIONS 8" AND LARGER, TO EXISTING MANHOLES
N.T.S.

- NOTES:
1. If inverts of the influent and effluent sewer pipes exceed 2 Ft. of difference, a Memphis Tee manhole must be constructed in accordance with Drawing No. SD1540.



SECTION
N.T.S.



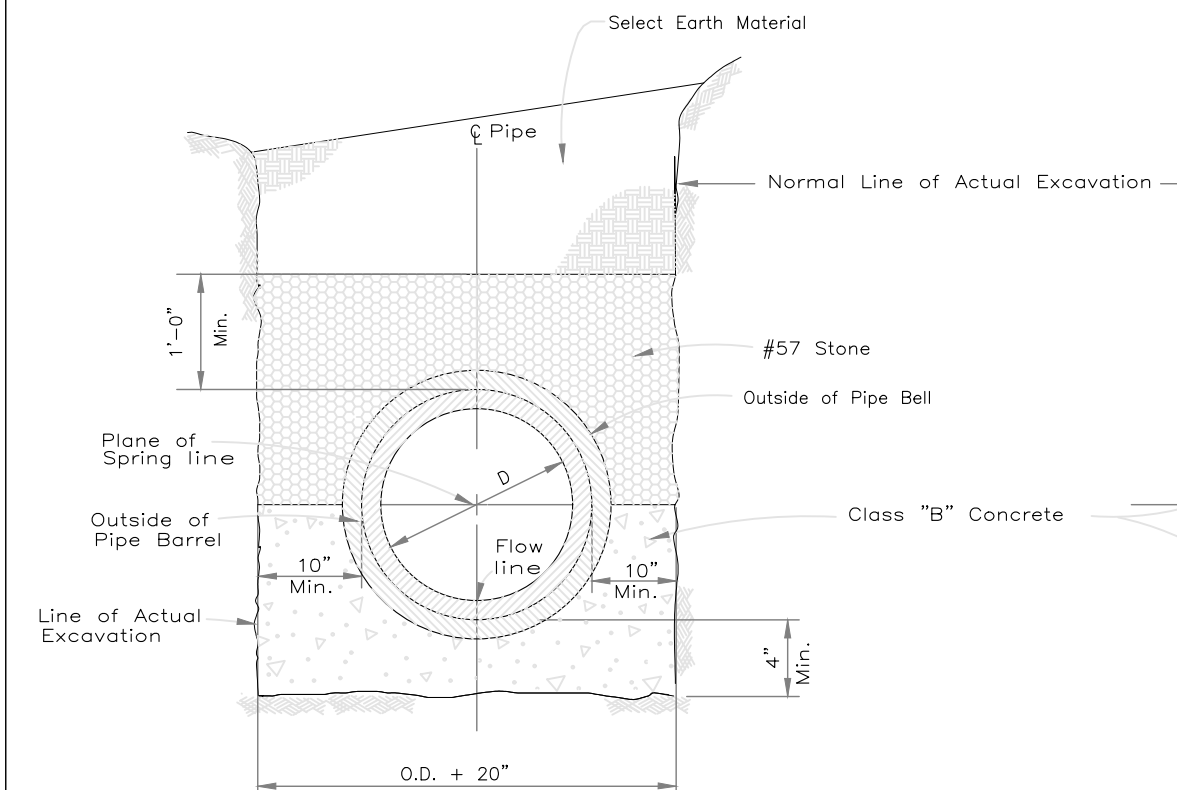
MANHOLE BASE PLAN
N.T.S.

BASE SECTION
N.T.S.

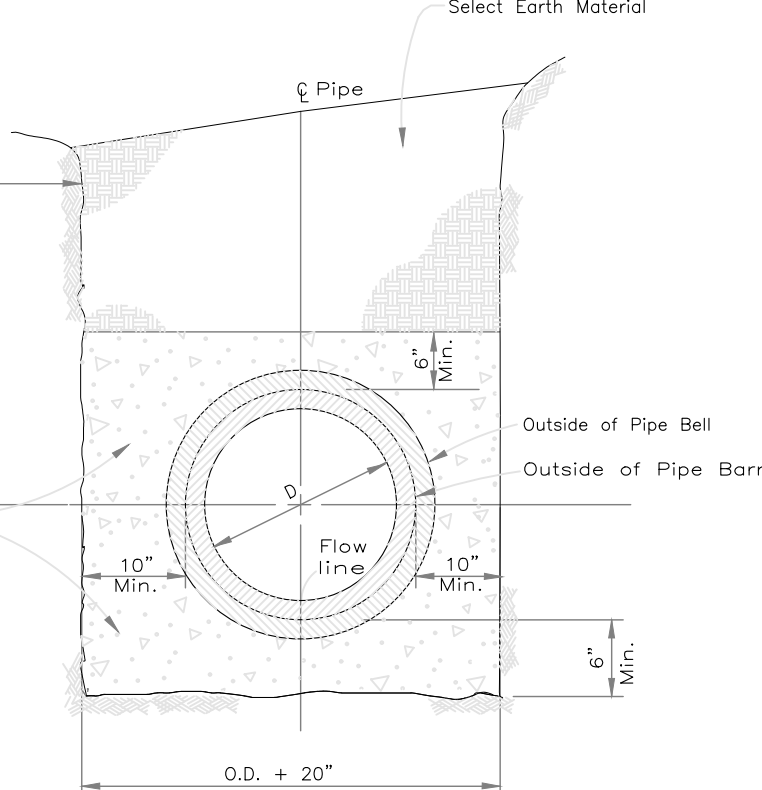
MANHOLE DETAILS
N.T.S.

- NOTES:
1. All manholes with pipe entering with diameter of 18" D.I.P. or less shall be supplied with Kor-N-Seal flexible boots of approved equal.
2. Where the difference in the invert elevation is 36" or standard length of Ductile Iron Pipe shall be installed to bridge the fill area between the manhole and the undisturbed pipe trench.

NOTE: PROPOSED TERMINAL LOW PRESSURE MANHOLES SHALL BE SPRAYED WITH A JEFFERSON COUNTY APPROVED REHAB MATERIAL OR HAVE XPEX ADMIXTURE ADDED DURING MANUFACTURE.

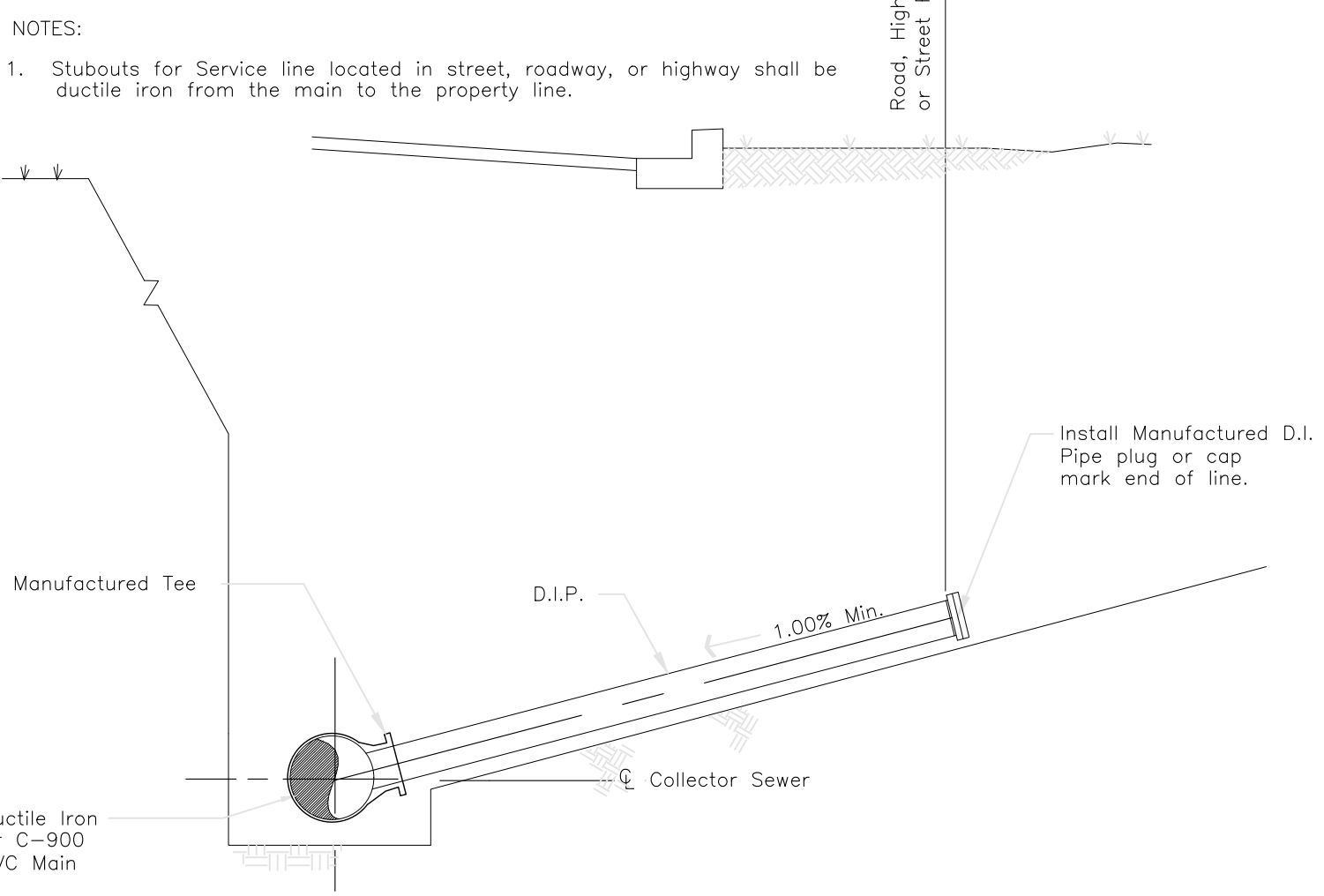


CONCRETE BEDDING
N.T.S.



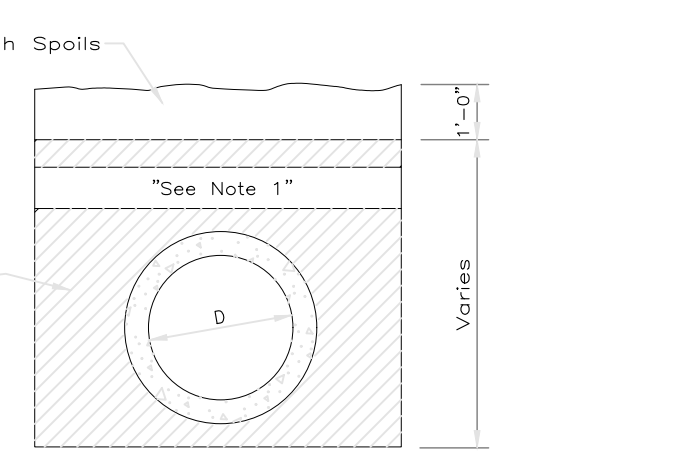
CONCRETE ENCASEMENT
N.T.S.

- NOTES:
1. Concrete Bedding and Concrete Encasement shall be placed as designated on the Drawings or as directed by the County Inspector



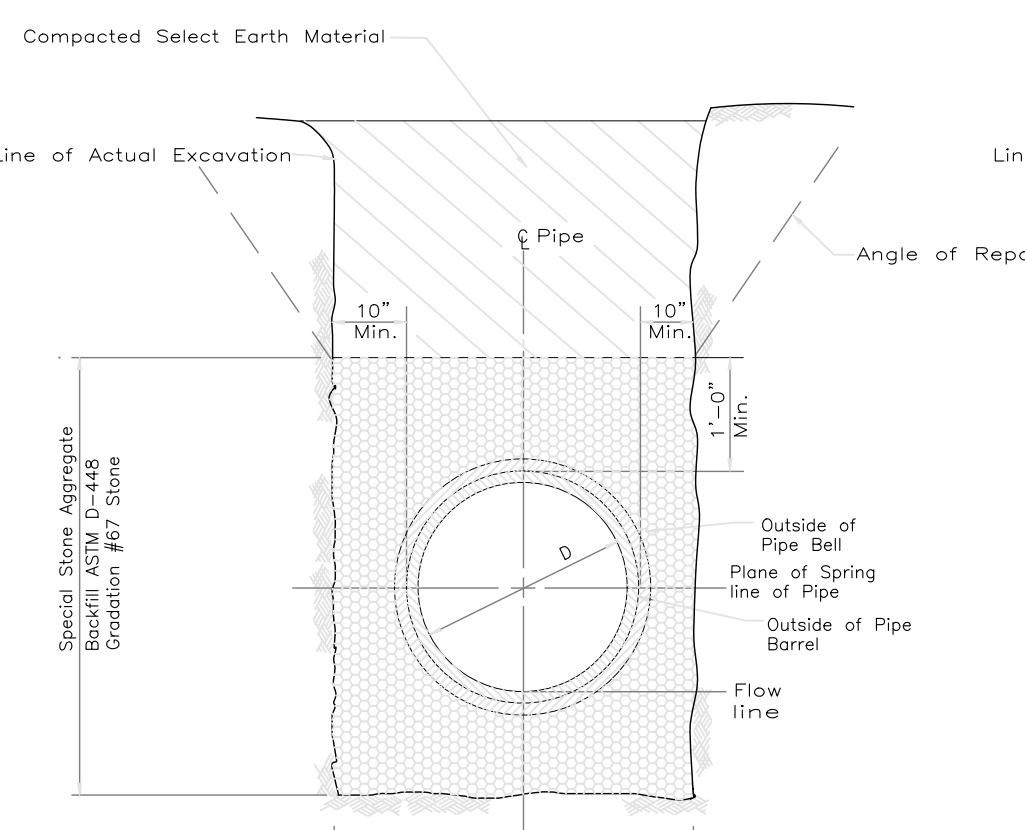
TYPICAL SERVICE LATERAL CONNECTION
N.T.S.

- NOTES:
1. Stubouts for Service line located in street, roadway, or highway shall be ductile iron from the main to the property line.

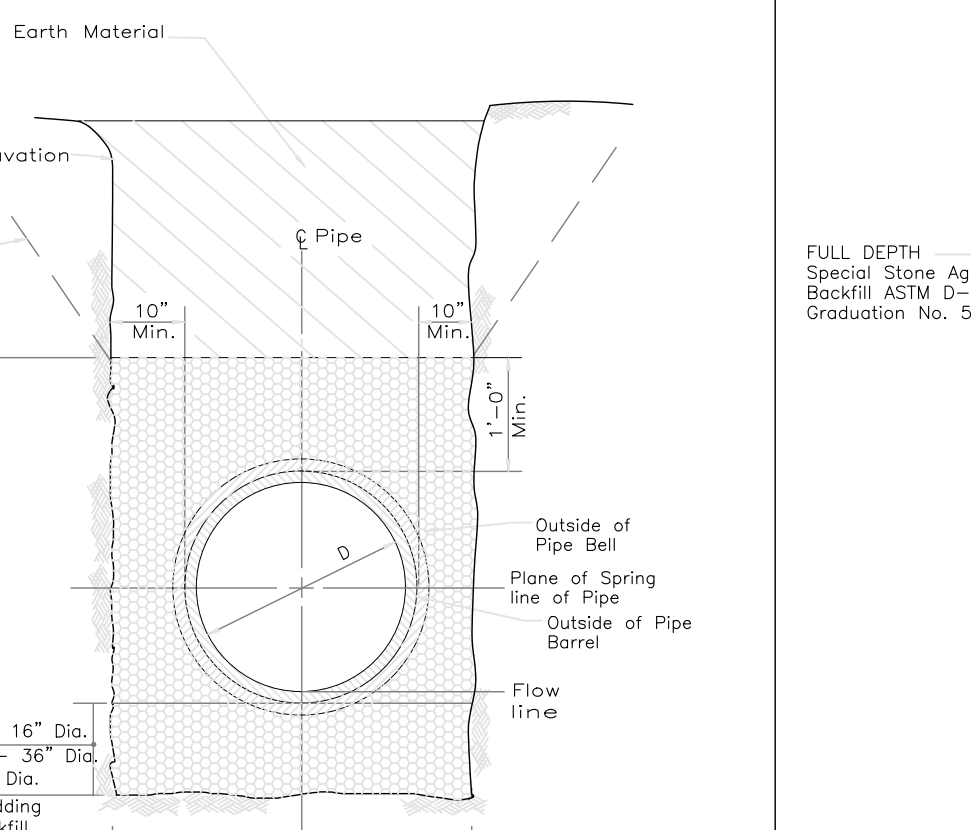


TYPICAL CLAY DITCH CHECK DETAIL
N.T.S.

- NOTES:
1. AN IMPERVIOUS CLAY DITCH CHECK SHALL BE REQUIRED ON THE DOWNSTREAM SIDE OF ALL STREAM CROSSINGS. THIS DITCH CHECK SHALL BE CONSTRUCTED FOR A LENGTH OF 15' AS MEASURED ALONG THE CENTERLINE OF THE PIPE AND THE FULL WIDTH OF THE TRENCH.
2. THE BACKFILL SHOWN SHALL EXHIBIT THE CHARACTERISTICS OF A "CC" SOIL RATING AS CLASSIFIED BY THE UNIFIED SOIL CLASSIFICATION SYSTEM (ASTM D-2487) AND SHALL HAVE A COEFFICIENT OF PERMEABILITY NO GREATER THAN 0.001 CM/SEC. AS DETERMINED BY (ASTM D-2434). THE MATERIAL UTILIZED MAY VARY FROM THE ABOVE REQUIREMENTS IF APPROVED BY THE COUNTY INSPECTOR; HOWEVER, IN ANY CASE, THE CONTRACTOR SHALL FURNISH TESTS INDICATING ACTUAL MATERIAL CHARACTERISTICS. TESTS ARE TO BE PERFORMED BY AN APPROVED INDEPENDENT TESTING FACILITY UTILIZING THE ABOVE METHODS. THE MINIMUM PERCENTAGE OF COMPACTION FOR THE BACKFILL SHALL BE 95% PROCTOR DENSITY (ASTM D-1557).



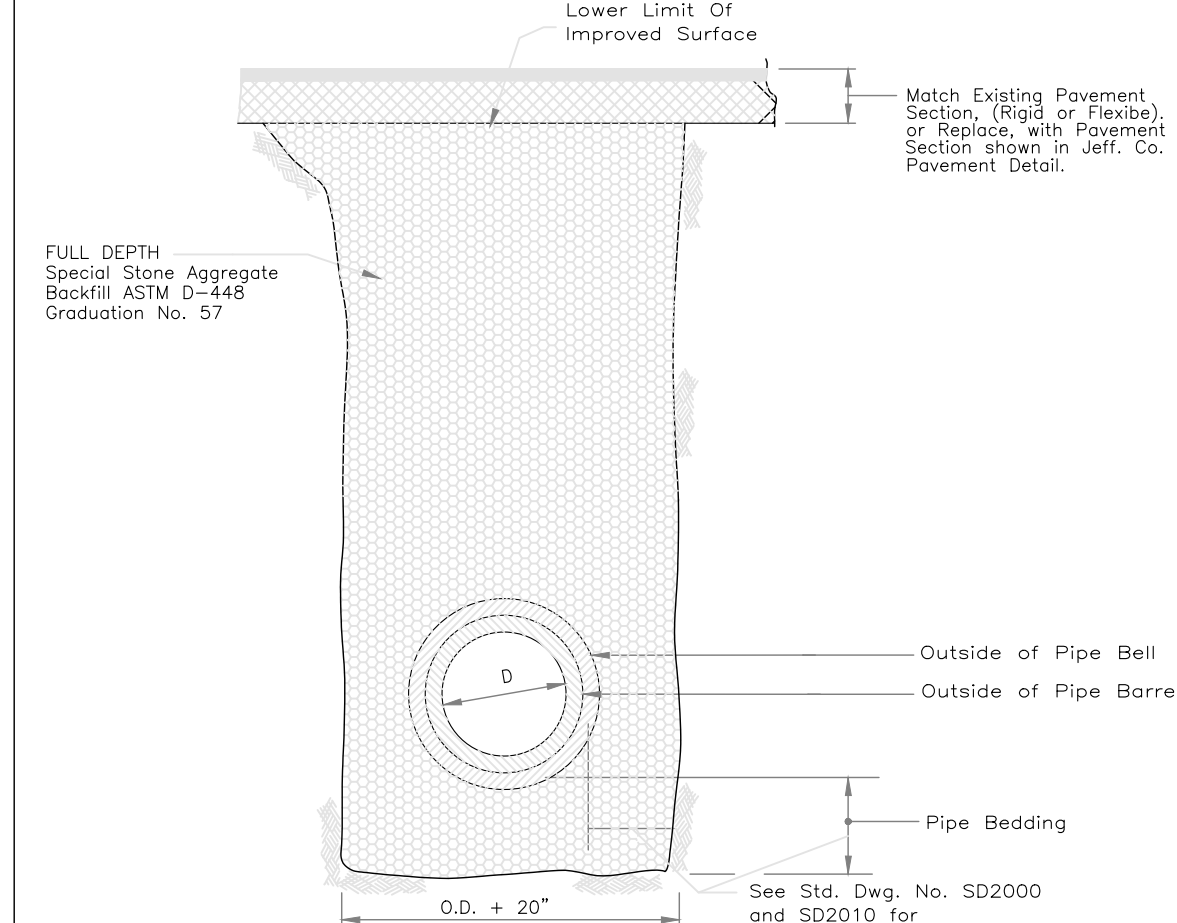
C-900 PVC PIPE
N.T.S.



ALL OTHER PIPE
N.T.S.

- NOTES:
1. Only acceptable granular material will be considered for Select Earth Material. Material must be compacted to 95% Standard Proctor Density and the results of the Standard Proctor Density test and the compaction test shall be submitted to the Engineer.
2. For Bedding under Paved Surfaces see Std. Dwg. No. SD2030.
3. All pipe shall have a minimum depth of 4" pipe bedding in a soil trench, and a minimum depth of 6" pipe bedding in a rock trench.

PIPE BEDDING AND BACKFILL DETAILS UNIMPROVED SURFACES

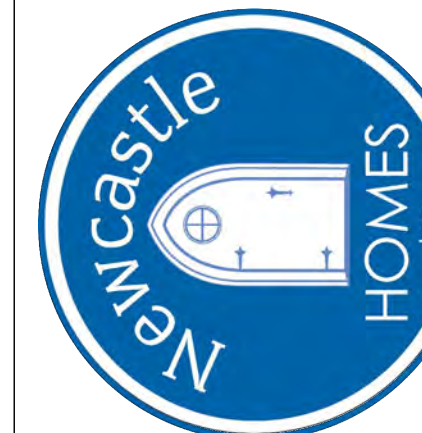


PIPE BEDDING UNDER PAVEMENT
N.T.S.

1. Trench configuration shown depicts the use "Trenchwall Shoring" Method, which shall be used under all paved areas unless otherwise directed by the Engineer.
2. The contractor shall refer to applicable "O.S.H.A. Regulations for "Open Trench Excavations".



Newcastle Development, LLC
121 Bishop Circle
Pelham, AL 35124
205.326.7406
www.newcastle-homes.com



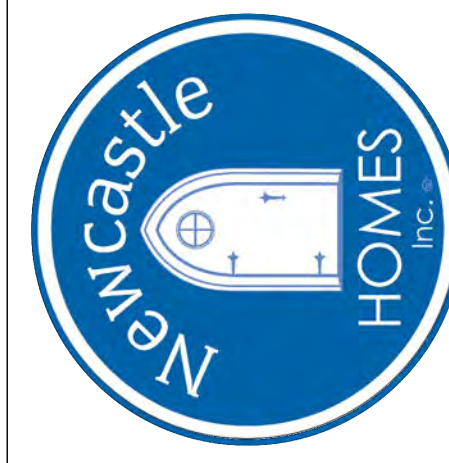
GRAND RIVER SOUTH RESIDENTIAL - PHASE THREE
A PROPOSED USS COMMUNITY
CITY OF LEEDS, AL

DRAWING ISSUE	
DESCRIPTION	DATE
01. PAD GRADING DETAIL	09/18/2023
DRAWING TITLE	
PROJECT DETAILS 6 - GRAVITY SEWER	
DRAWING NO. C9.05	
SCALE	AS NOTED
SHEET	73 of 75
DRAWN: BDT	CHECKED: BDT
Job #	002-21

SEAL



Newcastle Development, LLC
121 Bishop Circle
Pelham, AL 35124
205.326.7406
www.newcastle-homes.com



GRAND RIVER SOUTH RESIDENTIAL - PHASE THREE

A PROPOSED USS COMMUNITY
CITY OF LEEDS, AL

DRAWING ISSUE	
DESCRIPTION	DATE
01. PAD GRADING DETAIL	09/18/2023

DRAWING TITLE
**PROJECT DETAILS
7 - L.P. SEWER**

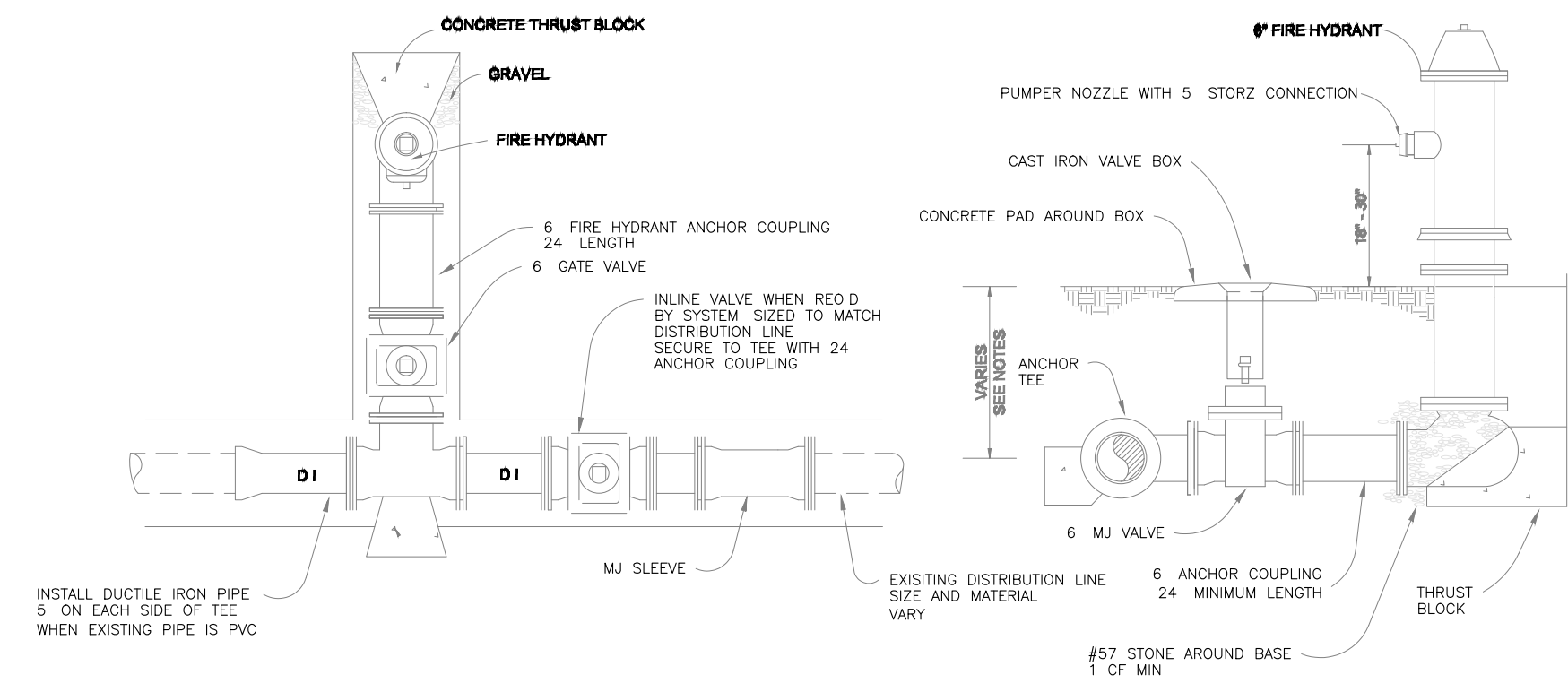
DRAWING NO.
C9.06

SCALE
AS NOTED

SHEET
74 of 75

DRAWN: BDT
CHECKED: BDT

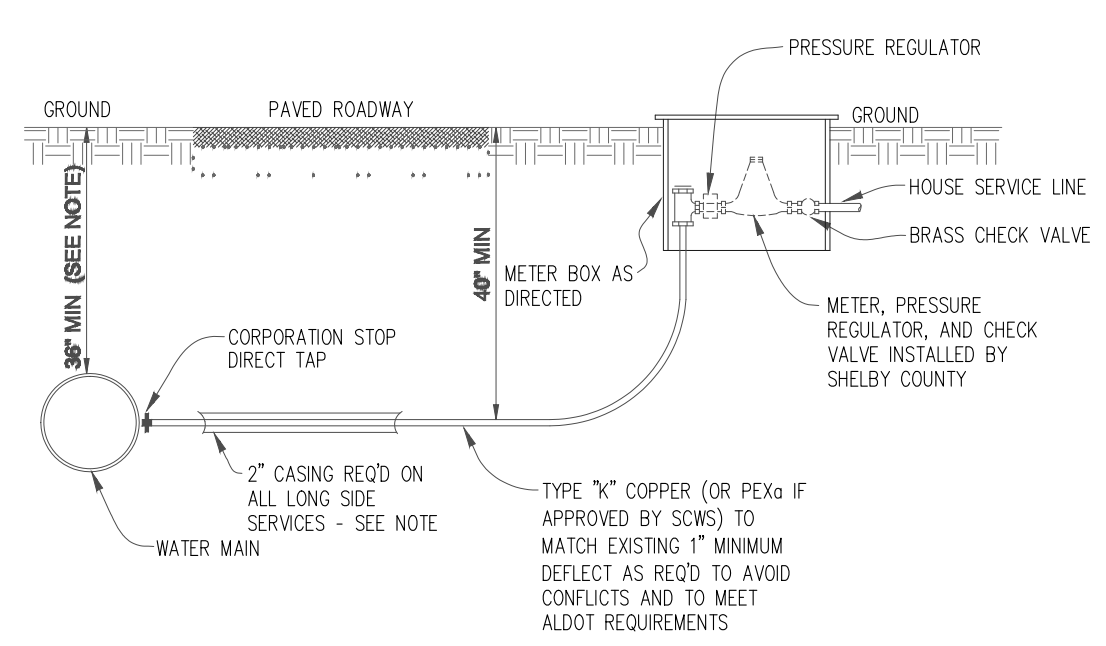
Job # **002-21**



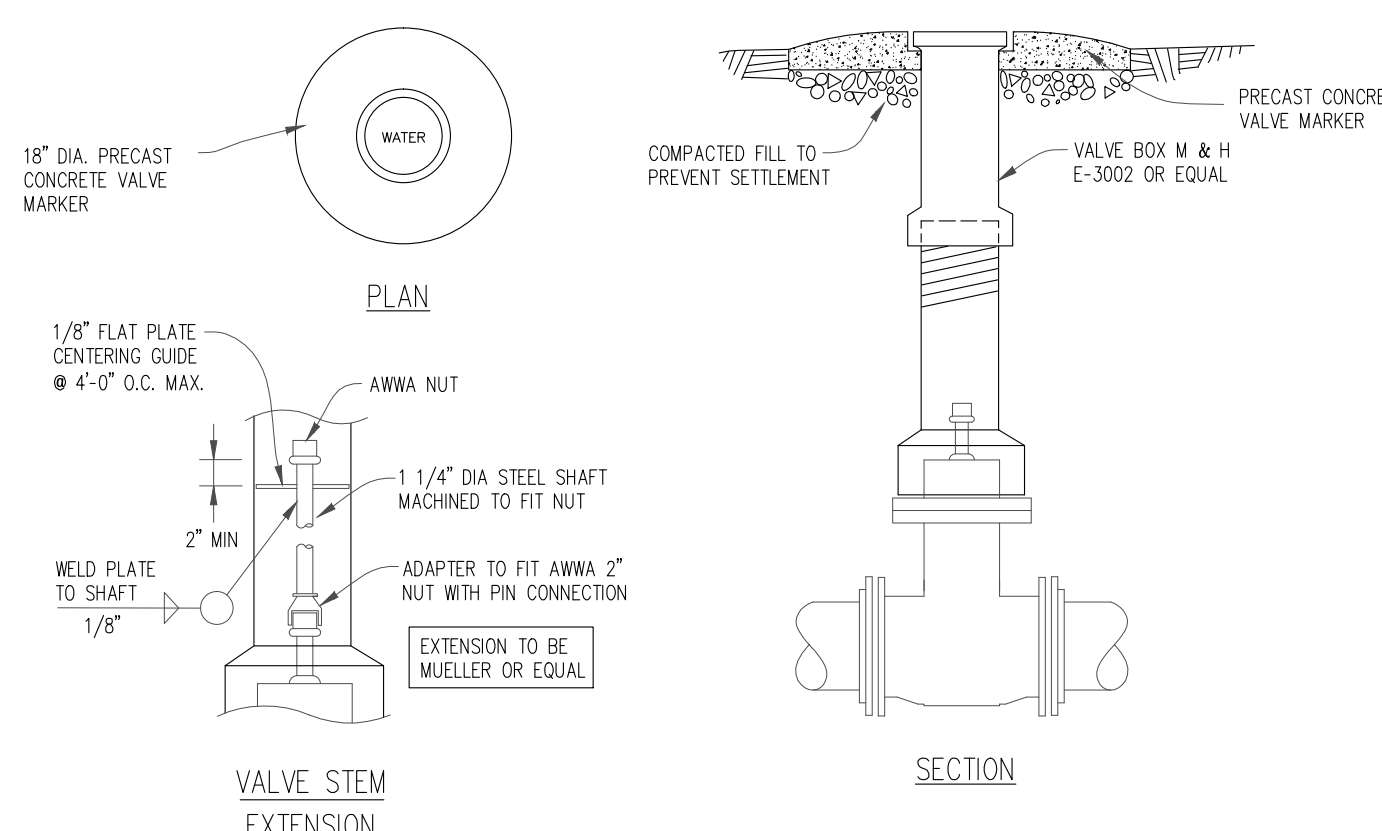
- NOTES**
- 1 ALL PIPE SHALL BE DUCTILE IRON CLASS B90
 - 2 HYDRANTS SHALL BE AMERICAN QUALITY 8845 (BY STEAMER NOZZLE) OR M&H STYLE 128 WITH ONE PUMPER AND TWO HOSE NOZZLES. ALL HYDRANTS SHALL HAVE A PUMPER NOZZLE WITH A 5' STORZ CONNECTION AND TWO 3/4" NATIONAL STANDARD THREAD (NST) HOSE NOZZLES.
 - 3 ALL VALVES SHALL BE REBUILT SEAT GATE VALVES UNLESS NOTED OTHERWISE
 - 4 THE DEPTH, SIZE, AND MATERIAL TYPE OF EXISTING WATER MAINS VARIES. THE CONTRACTOR SHALL VERIFY DEPTH OF MAIN AND TYPE AND SIZE OF PIPE PRIOR TO ORDERING MATERIAL OR BEGINNING WORK.
 - 5 CONTRACTOR SHALL REGRADE AND GRADE AROUND HYDRANT FOLLOWING INSTALLATION TO MATCH PRE-CONSTRUCTION CONDITIONS.
 - 6 THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES AND THEIR SATISFACTORY REPAIR AND REPLACEMENT.
 - 7 ALL CUT IN CONNECTIONS MUST BE APPROVED BY AND COORDINATED WITH SHELBY COUNTY WATER SERVICES. A MINIMUM OF 72 HOURS ADVANCE NOTICE IS REQUIRED.
 - 8 ALL THRUST BLOCKS SHALL BE DESIGNED BY ENGINEER AND A TABLE SHALL BE PROVIDED AS PART OF THE DETAILS.
 - 9 DISTRIBUTION LINE VALVES WILL BE REQUIRED AT BRIDGE HYDRANT LOCATIONS. COORDINATE WITH SHELBY COUNTY FOR BRIDGE LOCATIONS.
 - 10 THE COLOR OF THE HYDRANT SHALL BE AS REQUIRED BY THE FIRE DEPARTMENT HAVING JURISDICTION. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING HYDRANTS THAT MEET THEIR COLOR REQUIREMENTS.
- FIRE HYDRANT INSTALLATION DETAILS**
SCALE: N.T.S.

- NOTES**
- 1 METERS TO BE SET IMMEDIATELY OFF RIGHT OF WAY OR AT BACK OF RIGHT OF WAY.
 - 2 LONGSIDE SERVICES SHALL HAVE 1" TYPE K COPPER TUBING. UNLESS PEKG IS APPROVED FOR USE BY SHELBY COUNTY WATER SERVICES. PEKG SHALL BE MUNICEPK AS MANUFACTURED BY REHAM CONSTRUCTION, LLC. AND CONTRACTOR SHALL USE STAINLESS STEEL INSERTS AT ALL FITTINGS AND VALVES. 2" CASING SHALL BE SEALED AT EACH END.
 - 3 NO JOINTS ALLOWED IN SERVICES. TYPICAL OF ALL SERVICES.
 - 4 PIPE DEPTH SHALL BE MINIMUM 36" FOR SHELBY COUNTY ROW AND 48" FOR STATE ROW.
 - 5 DIRECTIONAL BORES FOR CASINGS SHALL BE AT A MINIMUM DEPTH OF 48" CASINGS SHALL EXTEND A MINIMUM 2' BEYOND EDGE OF PAVEMENT OR CURB.
 - 6 USAGE OF ANGLED AND STRAIGHT CURB STOPS SHALL BE AT THE DIRECTION OF SHELBY COUNTY.

- PARTIAL MATERIALS LIST**
- CORP STOPS: 1" BRASS BALL TYPE CORPORATION STOP - FORD FB10004
- CURB STOPS: 3/4" ANGLE CURB STOP - FORD BA43-332W
1" ANGLE CURB STOP - FORD BA43-444W
3/4" STRAIGHT CURB STOP - FORD BA3-332W
1" STRAIGHT CURB STOP - FORD BA3-444W
- BALL VALVES: 3/4" BRASS BALL VALVE SCREW JOINT - NIBCO T580
1" BRASS BALL VALVE SCREW JOINT - NIBCO T580
- METER ADAPTORS: 3/4" METER ADAPTOR - FORD A-14
1" METER ADAPTOR - FORD A-34
- METER COUPLINGS: 3/4" BRASS METER COUPLING - FORD C38-23-2.5
1" BRASS METER COUPLING - FORD C38-44-2.625
- METER BOXES: 18" x 24" RECTANGULAR METER BOX - POLYPLASTIC NDS D-1500 DIOIR
- *TO BE APPROVED BY SHELBY COUNTY PRIOR TO INSTALLATION

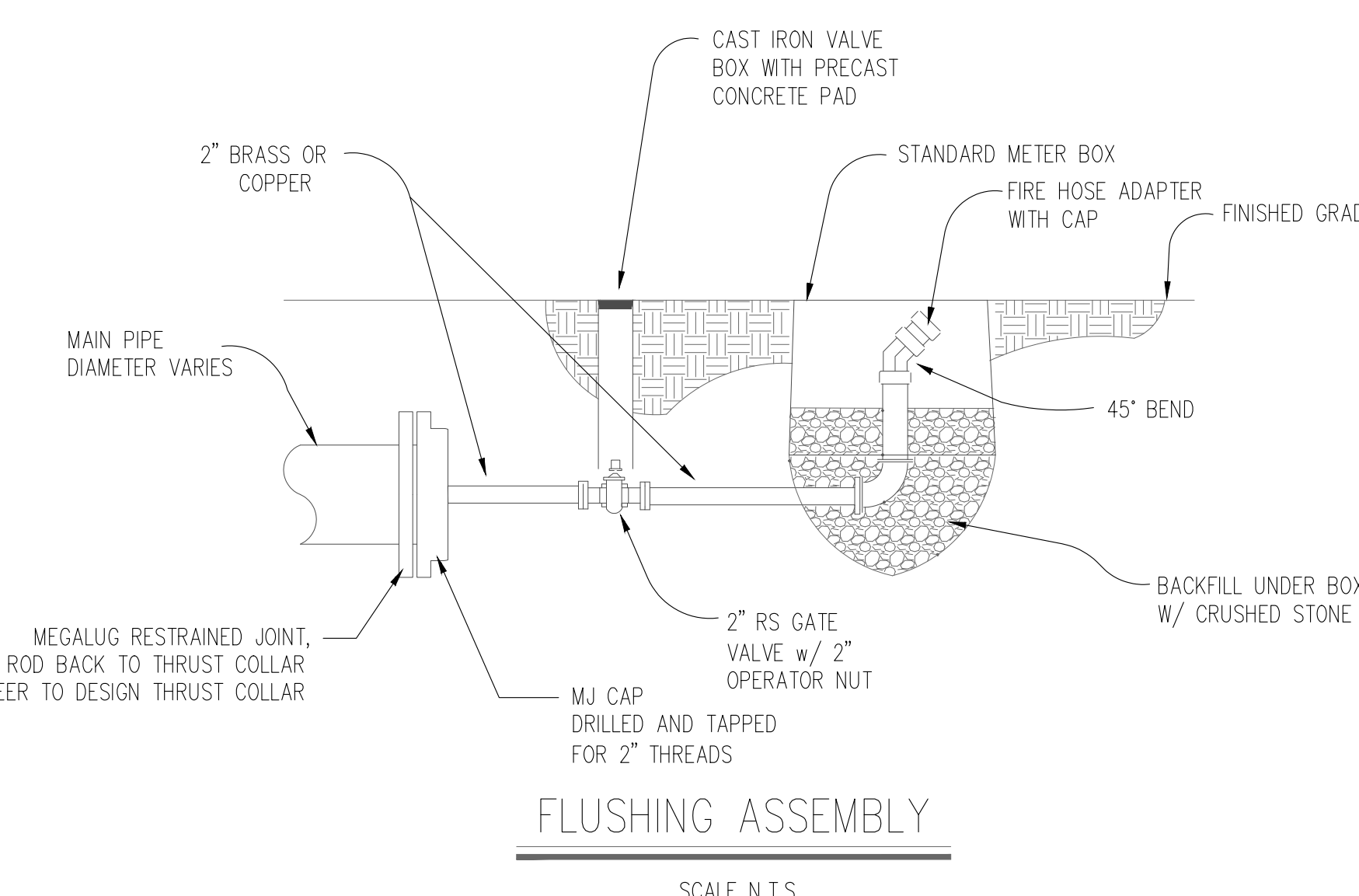


TYP LONGSIDE METER INSTALLATION
SCALE: N.T.S.



VALVE BOX DETAIL
SCALE: N.T.S.

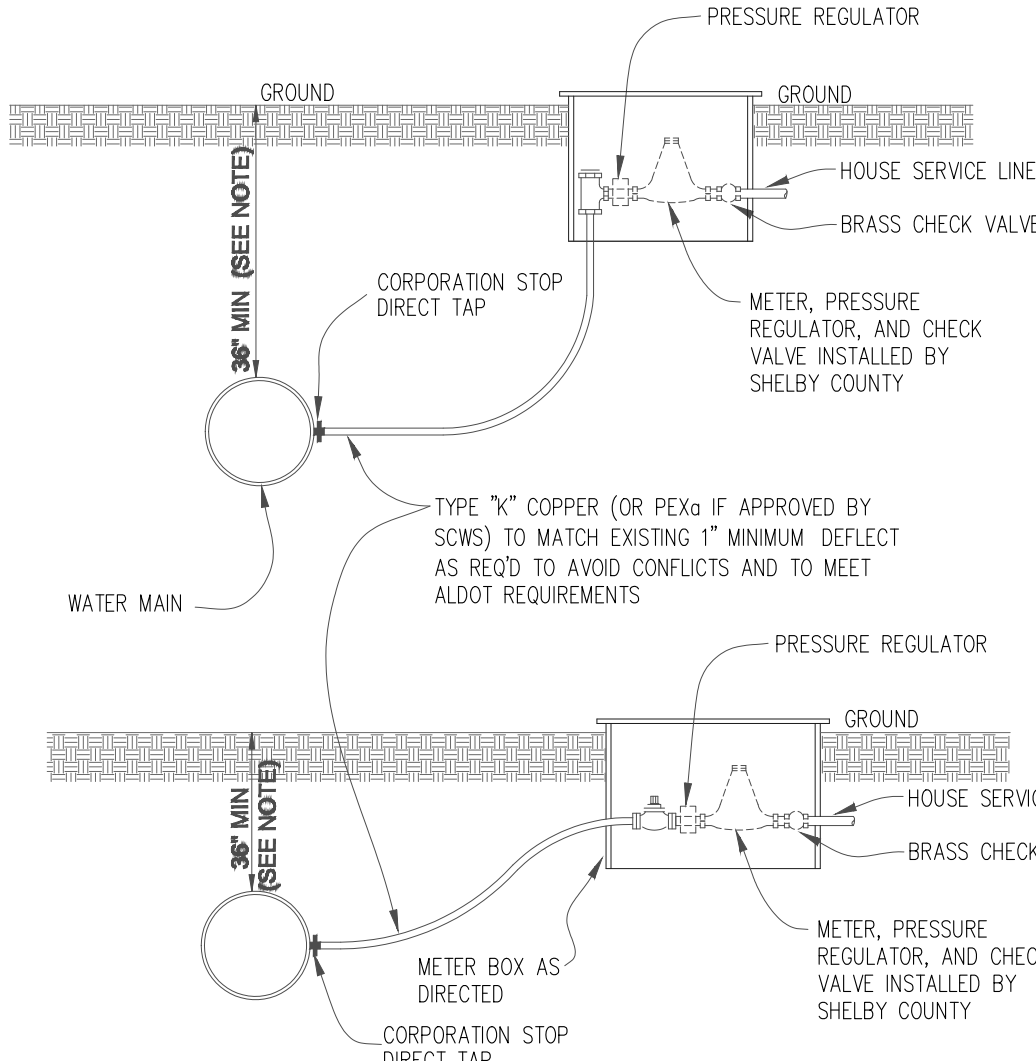
- NOTES**
1. VALVE STEM EXTENSION REQUIRED WHERE DEPTH TO OPERATE EXCEEDS 4'-0". FINAL DEPTH OF OPERATOR NUT BELOW FINAL GRADE SHALL NOT EXCEED 4'-0".
 2. PRECAST VALVE PADS SHALL BE PROVIDED AT ALL VALVES THAT ARE NOT IN PAVEMENT.



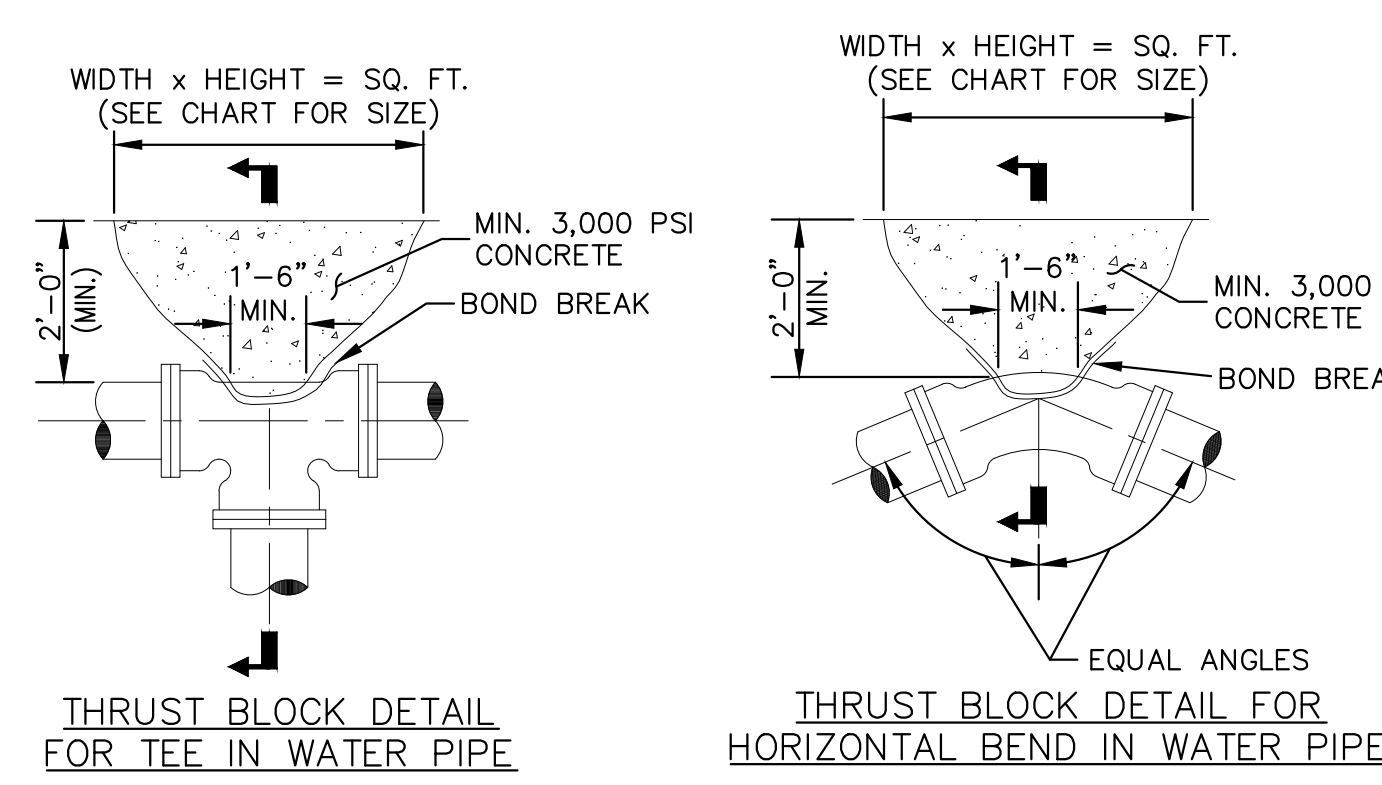
FLUSHING ASSEMBLY
SCALE: N.T.S.

- NOTES**
1. METERS TO BE SET IMMEDIATELY OFF RIGHT OF WAY OR AT BACK OF RIGHT OF WAY.
 2. SERVICE MATERIAL SHALL BE 1" TYPE K COPPER AND NO JOINTS ALLOWED IN SERVICES. UNLESS PEKG IS APPROVED FOR USE BY SHELBY COUNTY WATER SERVICES. PEKG SHALL BE MUNICEPK AS MANUFACTURED BY REHAM CONSTRUCTION, LLC. AND CONTRACTOR SHALL USE STAINLESS STEEL INSERTS AT ALL FITTINGS AND VALVES. TYPICAL OF ALL SERVICES.
 3. PIPE DEPTH SHALL BE MINIMUM 36" FOR SHELBY COUNTY ROW AND 48" FOR STATE ROW.
 4. USAGE OF ANGLED AND STRAIGHT CURB STOPS SHALL BE AT THE DIRECTION OF SHELBY COUNTY.

- PARTIAL MATERIALS LIST**
- CORP STOPS: 1" BRASS BALL TYPE CORPORATION STOP - FORD FB10004
- CURB STOPS: 3/4" ANGLE CURB STOP - FORD BA43-332W
1" ANGLE CURB STOP - FORD BA43-444W
3/4" STRAIGHT CURB STOP - FORD BA3-332W
1" STRAIGHT CURB STOP - FORD BA3-444W
- BALL VALVES: 3/4" BRASS BALL VALVE SCREW JOINT - NIBCO T580
1" BRASS BALL VALVE SCREW JOINT - NIBCO T580
- METER ADAPTORS: 3/4" METER ADAPTOR - FORD A-14
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1" BRASS METER COUPLING - FORD C38-44-2.625
- METER BOXES: 18" x 24" RECTANGULAR METER BOX - POLYPLASTIC NDS D-1500 DIOIR
- *TO BE APPROVED BY SHELBY COUNTY PRIOR TO INSTALLATION



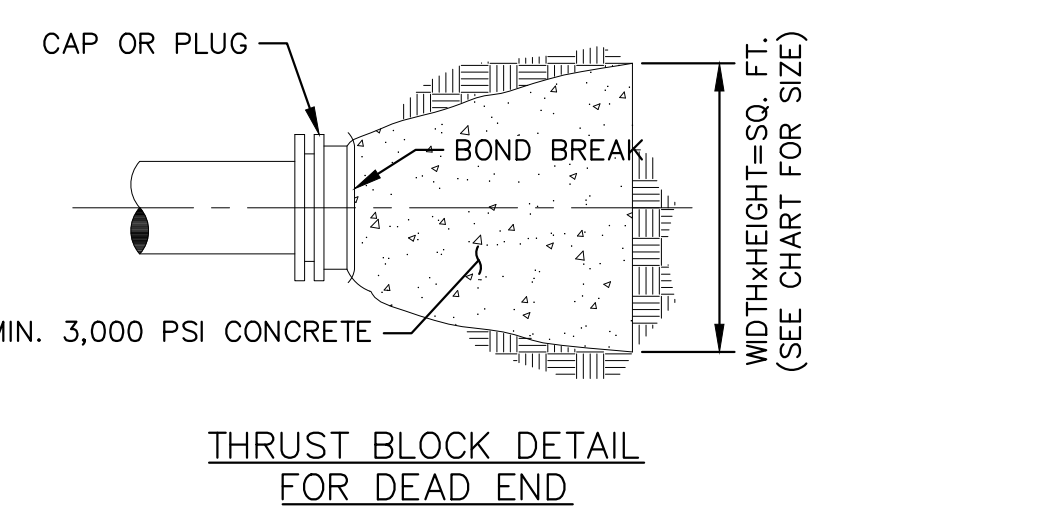
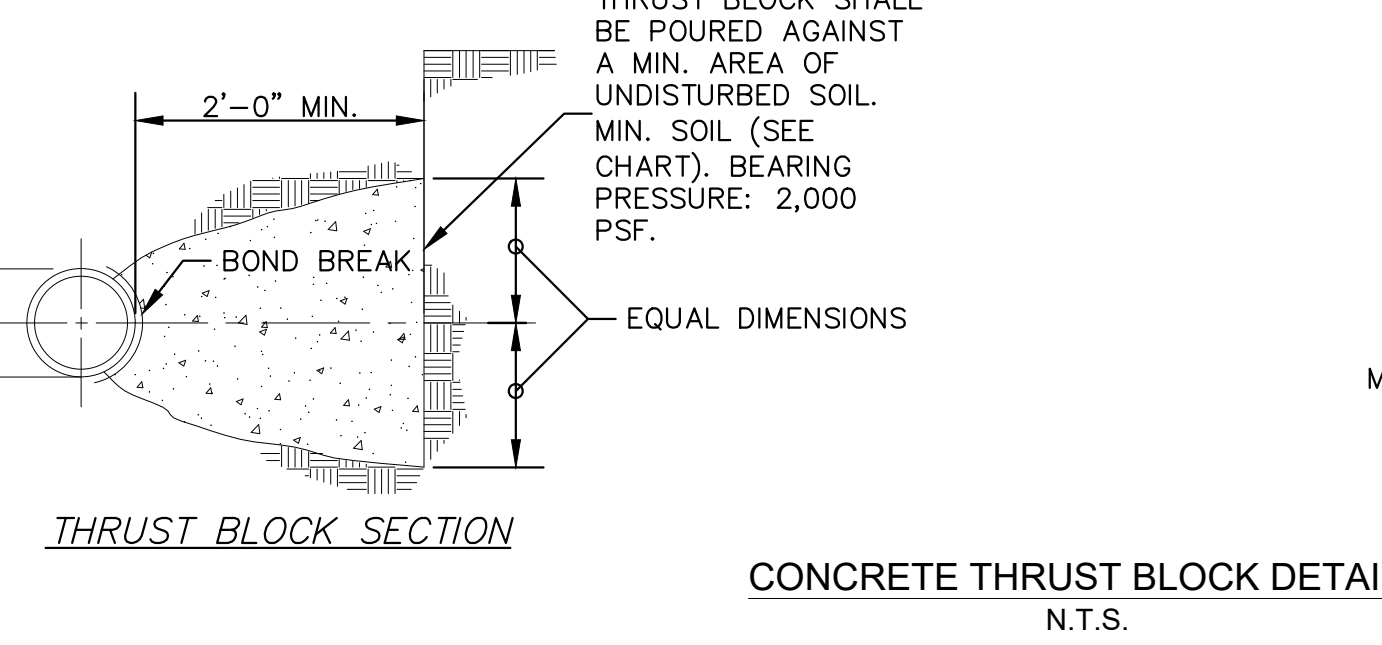
TYP SHORTSIDE METER INSTALLATION
SCALE: N.T.S.



* MIN. THRUST AREA IN SQ.FT. FOR CONC. THRUST BLOCK

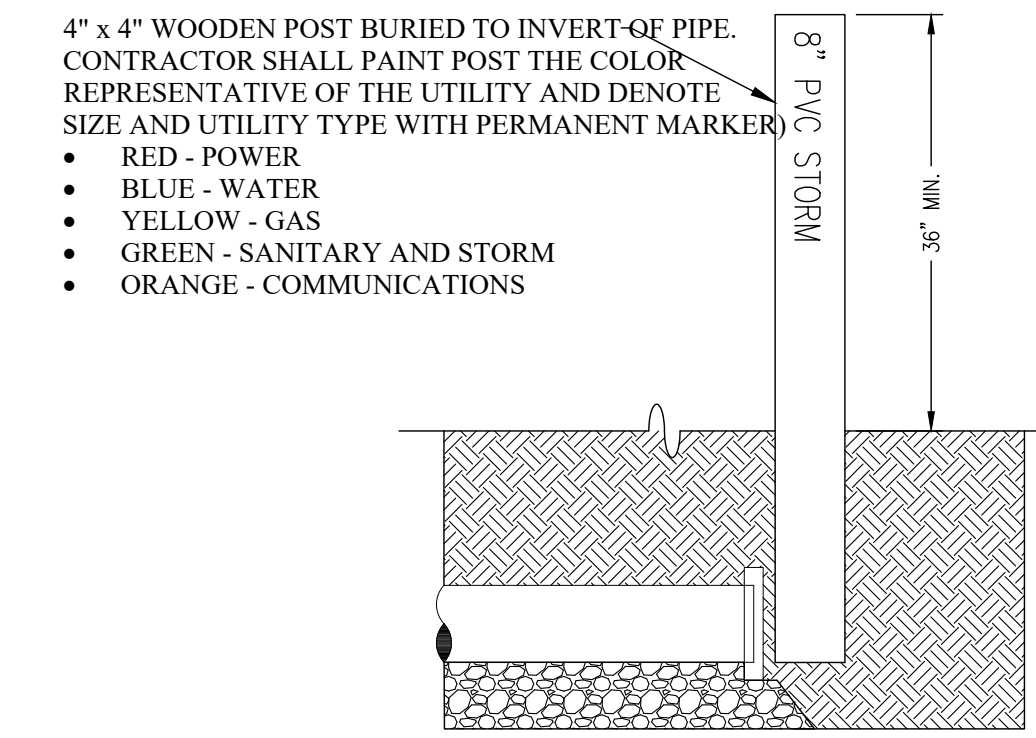
PIPE SIZE	90°	45°	22 1/2°	11 1/4°	TEES OR DEAD END
3"	2.0	1.0	0.5	-	1.5
4"	3.0	1.5	1.0	0.5	2.0
6"	5.5	3.0	1.5	1.0	4.0
8"	9.5	5.0	3.0	1.5	6.5
10"	14.0	7.5	4.0	2.0	10.0
12"	19.5	10.5	5.5	3.0	14.0

THRUST AREAS ARE BASED ON 200 PSI MAX. PIPE PRESSURE

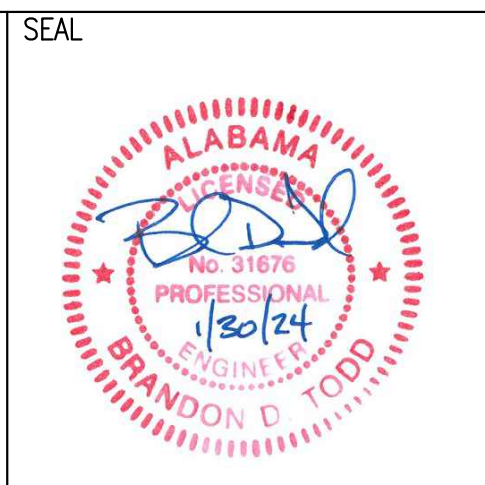


CONCRETE THRUST BLOCK DETAILS
N.T.S.

THRUST BLOCK DETAIL FOR DEAD END



UTILITY LINE MARKER
N.T.S.



Newcastle Development, LLC
121 Bishop Circle
Pelham, AL 35124
205.326.7406
www.newcastle-homes.com



**GRAND RIVER SOUTH
RESIDENTIAL - PHASE THREE**
A PROPOSED USS COMMUNITY
CITY OF LEEDS, AL

DRAWING ISSUE

DESCRIPTION	DATE

DRAWING TITLE

**PROJECT DETAILS
8 - WATER**

DRAWING NO.
C9.07

SCALE
AS NOTED

SHEET
75 of 75

DRAWN:
BDT

CHECKED:
BDT

Job # 002-21

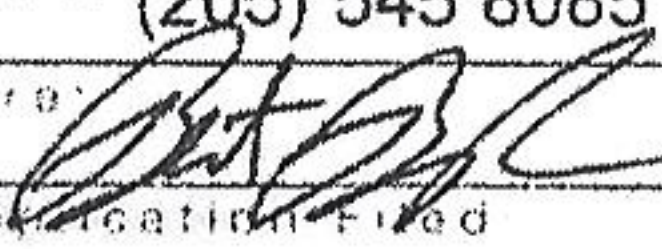
File Attachments for Item:


2. To be heard April 11, 2024 - RA23-000006 - A request by Bert Boykin, Applicant, High Tide Oil Company, Inc., Owner, to rezone certain parcels of property from R-2, Single Family District to I-2, Heavy Industrial District at 8514 Pearl St, 35094, TPID 2500281002004000, Jefferson County.

From: bmorris.lwwb.com
To: [Bert Boykin](#)
Subject: Pearl Street
Date: Monday, January 8, 2024 2:39:35 PM

Bert, Pearl Street has a 12” main. Water is available for this site. Thanks, BILL MORRIS
205/966/0940

REZONING APPLICATION FOR THE CITY OF LEEDS, ALABAMA
DEPARTMENT OF INSPECTION SERVICES- ZONING DIVISION
 1404 9th STREET, LEEDS, AL 35094 P.205.699.2585
 INSPECTIONS@LEEDSALABAMA.GOV * leedsalabama.gov

Part 1. Application	
Name of Applicant: High Tide Oil Company, Inc.	
Mailing Address: c/o Bert Boykin, Evans & Evans, 2001 Park Place North, Suite 540, Birmingham, AL 35203	
Telephone: (205) 545 8085	E-mail: bb@eefirm.com
Signature: 	
Date Application Filed	Requested Hearing Date: next available

Part 2. Parcel Data		
Owner of Record: High Tide Oil Company, Inc.		
Owner Mailing Address 2700 Kelly Creek Road, Moody, AL 35004		
Site Address: 8514 Pearl Street, Leeds, AL 35094		
Tax Parcel ID # 25-00-28-1-002-004.000	Existing Zoning: R-2	Proposed Zoning: I-2
Telephone: (205) 640-0005	E-Mail: russell@hightideoilcompany.com	
Signature of Authorization by Owner: 		

Part 3. Request
Reason for Request: development of vacant land.
Proffer of rezoning conditions (if any)

Part 4 Enclosures (Check all required enclosures with this application)
<input type="checkbox"/> Application Fee
<input type="checkbox"/> Reason for Request
<input checked="" type="checkbox"/> Legal Description of the subject Property
<input checked="" type="checkbox"/> Vicinity Map
<input type="checkbox"/> Availability of Required Utilities
<input type="checkbox"/> Site Plan
<input type="checkbox"/> Proffer of rezoning conditions (if any)

NOTICE: The completed application and all required attachments must be filed at least 30 (thirty) days prior to the Leeds Zoning Board of Adjustments Public Hearing. A representative must be present at the hearing.

FOR OFFICE USE ONLY	
Application Number:	Date Received:
Received by:	Scheduled Public Hearing Date:

Evans & Evans
LAWYERS

December 6, 2023

Via US Mail

City of Leeds, Alabama
Zoning Division
1400 9th Street
Leeds, Alabama 35094

Re: Filing Fee for Rezoning Application

To whom it may concern:

I have enclosed a check in the amount of \$270.00 for the filing fee that I believe is required for my client's rezoning application. A copy of the application is also enclosed for your reference. The application, along with supporting documents, was filed through your online portal in November 2023. Please let me know if anything else is needed to process our application and when the application will be set for public hearing.

Thank you for your assistance.

Very truly yours,


Bert Boykin

BB/
Enclosure

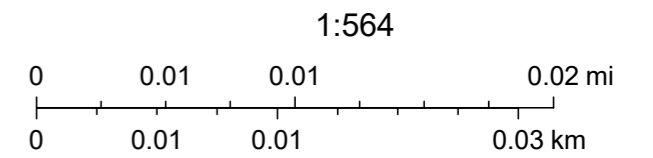
DEC 8 '23 AM 9:56

Jefferson County Parcel Look-up



Metal building or
gravel lot for private parking

January 2, 2024



File Attachments for Item:

3. To be heard on April 11, 2024 - SA23-000012 - Variance - A request by MTTR Engineers, Inc., Applicant, SHERIDAN SOUTH, LLC / JOHN R. FRAWLEY, JR., Owners for variances of the subdivision regulations : 1. to allow a forty (40) foot private road ROW in lieu of the required fifty (50) foot ROW, 2. Improvements to widen existing pavement to 20" wide in ROW of Norman Drive , 3. 20' Tar and gravel emergency access to Katie Lane vs. standard width road Access to emergency vehicles only, not public. 4. 30' front building line lot 17 in lieu of the required 35 feet.

MILLER-THOMPSON-TAYLOR-RAWSON

3 Riverchase Ridge
Hoover, AL 35244

Telephone: (205) 320-0114

January 4th, 2024**RE: Subdivision Variances Requested Parkstone Meadows**

Members of the Trussville Planning Commission:

The following items are being requested for the Parkstone Meadows Project.

VARIANCES REQUESTED:

1. 40' PRIVATE ROAD ROW vs. 50' ROW
2. Improvements to widen ex pavement to 20" wide in ROW of Norman Drive
3. 20' Tar and gravel emergency access to Katie Lane vs. standard width road
Access to emergency vehicles only, not public.
4. 30' Front Building line Lot 17 vs 35



Joseph A. Miller, III; PE / PLS #17054

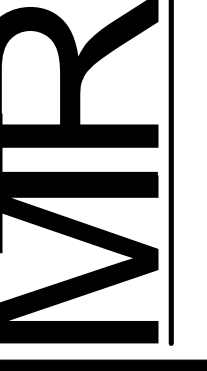
File Attachments for Item:

4. To be heard on April 11, 2024 - SA23-000012 - A request by MTTR Engineers, Inc., applicant, SHERIDAN SOUTH, LLC / JOHN R. FRAWLEY, JR., Owner, for a preliminary plat - PARKSTONE MEADOWS SUBDIVISION - 29 lots, located at 1198 MAPLEWOOD DR LEEDS AL 35094 (Site Only), TPID: 2500204002020000, Zoned: R-3, Multi-Family District, Jefferson County.

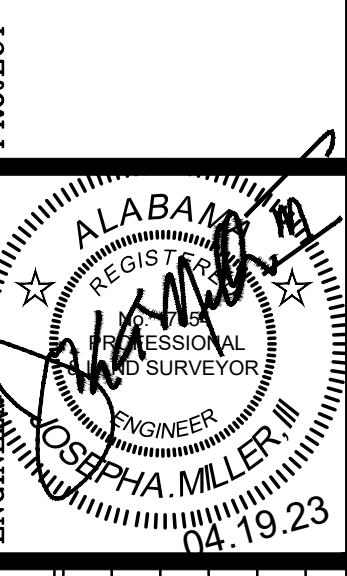
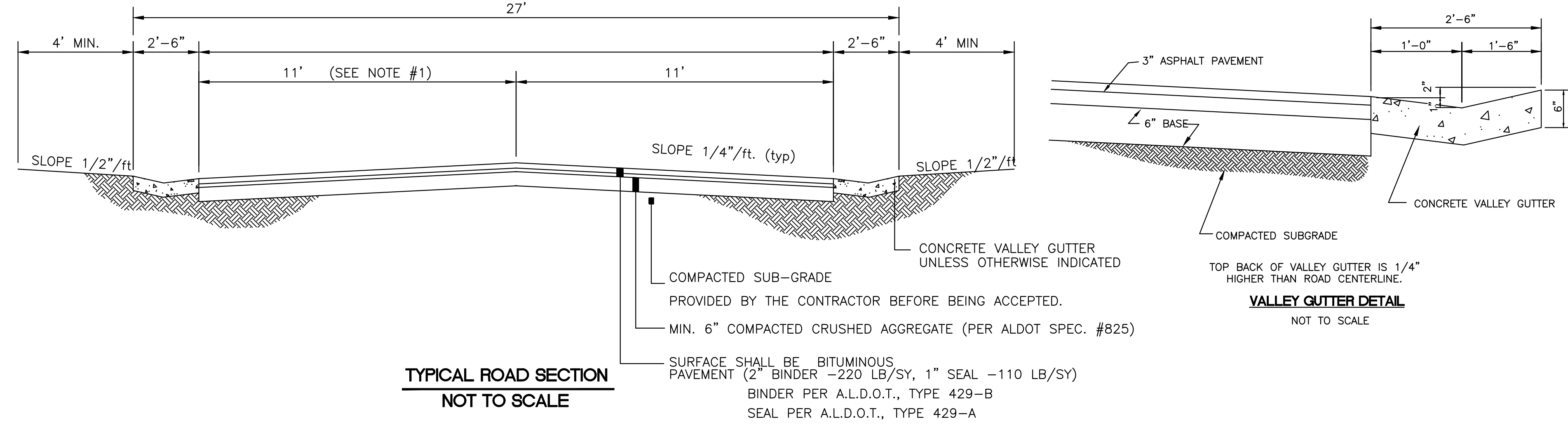
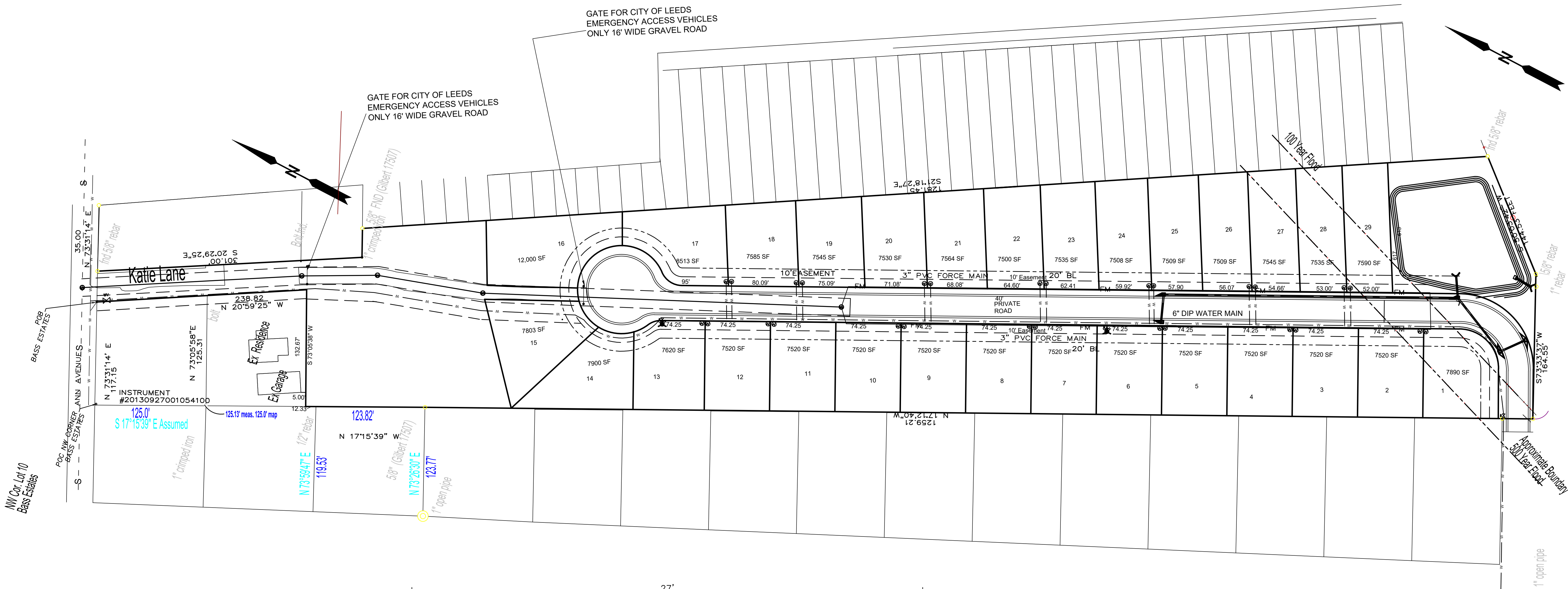
Owner / Developer:
 Steve French
 Parkstone Meadows, LLC,
 1309 Coffeen Avenue, Suite 1200
 Sheridan, Wyoming, 82801

Engineer:
 Joseph A. Miller, III
 MTTR ENGINEERS, INC.
 CONSULTING ENGINEERS-LAND SURVEYORS
 3 RIVERCHASE RIDGE, HOOVER, AL.
 Hoover, AL. 35244

MTTR ENGINEERS, INC.
 CONSULTING ENGINEERS-LAND SURVEYORS
 3 RIVERCHASE RIDGE
 HOOVER, AL. 35244
 TELEPHONE: (205) 969-0444



PRELIMINARY PLAN
 PARKSTONE MEADOWS
 KATIE LANE
 LEEDS ALABAMA
Parkstone Meadows, LLC,
 Sheridan, Wyoming, 82801



DATE	REVISIONS

JOB NO.:
 SUBDIVISIONS:
 FILE NAME: PARKSTONE MEADOWS SUB. 07.27.22
 DATE: 04.18.23
 DRAWN: JAM III
 CHECKED: JAM III
 SCALE: 1"=60'
 SHEET

NOTICE OF PUBLIC HEARING

City of Leeds, Alabama
Planning and Zoning Commission

Application for Subdivision
PARKSTONE MEADOWS SUBDIVISION

APPLICATION

An application for subdivision plat approval has been filed with the City of Leeds Planning and Zoning Commission for "PARKSTONE MEADOWS SUBDIVISION". This proposed subdivision consists of 29.

PLANNING AND ZONING COMMISSION

The Planning and Zoning Commission is vested with the responsibility and authority of determining conformity with the City of Leeds Subdivision Regulations

CASE #:	SA23-000012
APPLICANT NAME:	
PROPERTY OWNER:	SHERIDAN SOUTH, LLC / JOHN R. FRAWLEY, JR.
TAX PARCEL ID#S:	2500204002020000
CASE ADDRESS:	1198 MAPLEWOOD DR; LEEDS, AL 35094

NOTICE IS HEREBY GIVEN that the Planning and Zoning Commission will hold a public hearing on the proposed preliminary plat. The hearing is scheduled on.

Date: 10/12/2023
Time: 5:00 p.m.
Place: Leeds Annex Meeting Room
1412 9th St
Leeds, AL 35094

Public Information: Any interested persons or their representative may appear at the meeting and comment on the application. Written comments may also be mailed to the Commission.

For more information about the application and related issues or to schedule an appointment:

Contact Person: Brad Watson **Phone:** 205-699-0907
E-mail: development@leedsalabama.gov

Mailing Address:

City of Leeds
Planning and Zoning commission
1404 9th Street
Leeds, AL 35094

File Attachments for Item:

5. SA24-000002 - A request by Smith Douglas Homes - Tyler Harper, Owner and Applicant, for final plat approval of the Dansby Valley PHI - 67 lots - at 9119 Weaver Ave, 35094 - Site Only - TPID(s) 2601110001047004, 032000, 047003, & 030000, Zoned R-5 Garden Home District

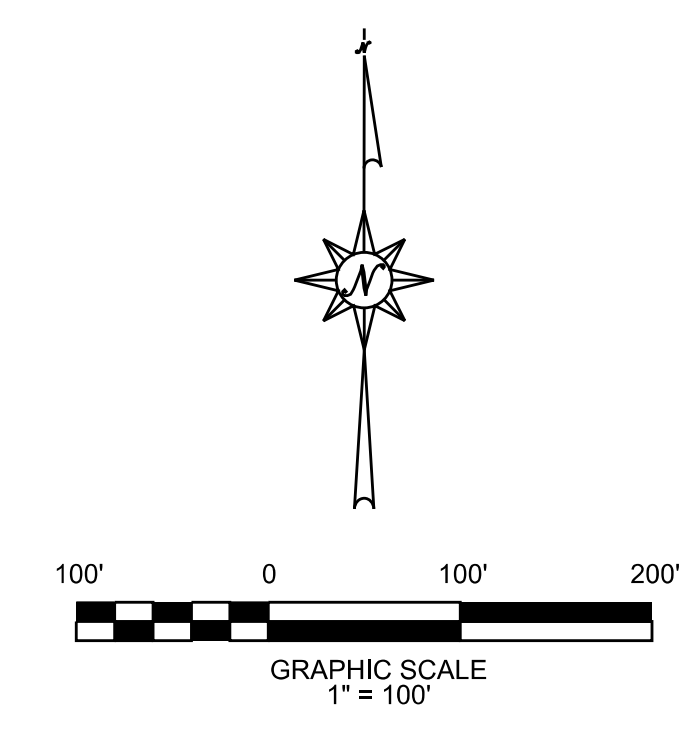
PRELIMINARY PLAT DANSBY

A MASTER PLANNED RESIDENTIAL SUBDIVISION SINGLE FAMILY

40.68 ACRES BEING SUBDIVIDED

PROPERTY LOCATED
SECTION 11 TOWNSHIP 17 SOUTH RANGE 1 EAST
ST CLAIR COUNTY AL

LEGEND	
—	PROPERTY LINE
- - -	EASEMENT LINE
.....	SETBACK LINE
.....	BUFFER LINE
●	PROPERTY CORNER



INSITE ENGINEERING
5800 FELDSPAR WAY
HOOVER, ALABAMA 35244
OFFICE (205) 733-9698
www.insiteengineering.org

CIVIL / GIS
INFRASTRUCTURE
ENVIRONMENTAL
PLANNING
COMMERCIAL
RESIDENTIAL

TOTAL ACREAGE = 40.68			
TOTAL LOTS = 139			
TOTAL EQUIVALENT BREAKDOWN = 3.42 LOTS/ACRE			
LF ROADS	4.743	LF	
LF CURBS	9.718	LF	
LF STORM	6.060	LF	
ACREAGE IN ROW	5.67	ACRES	

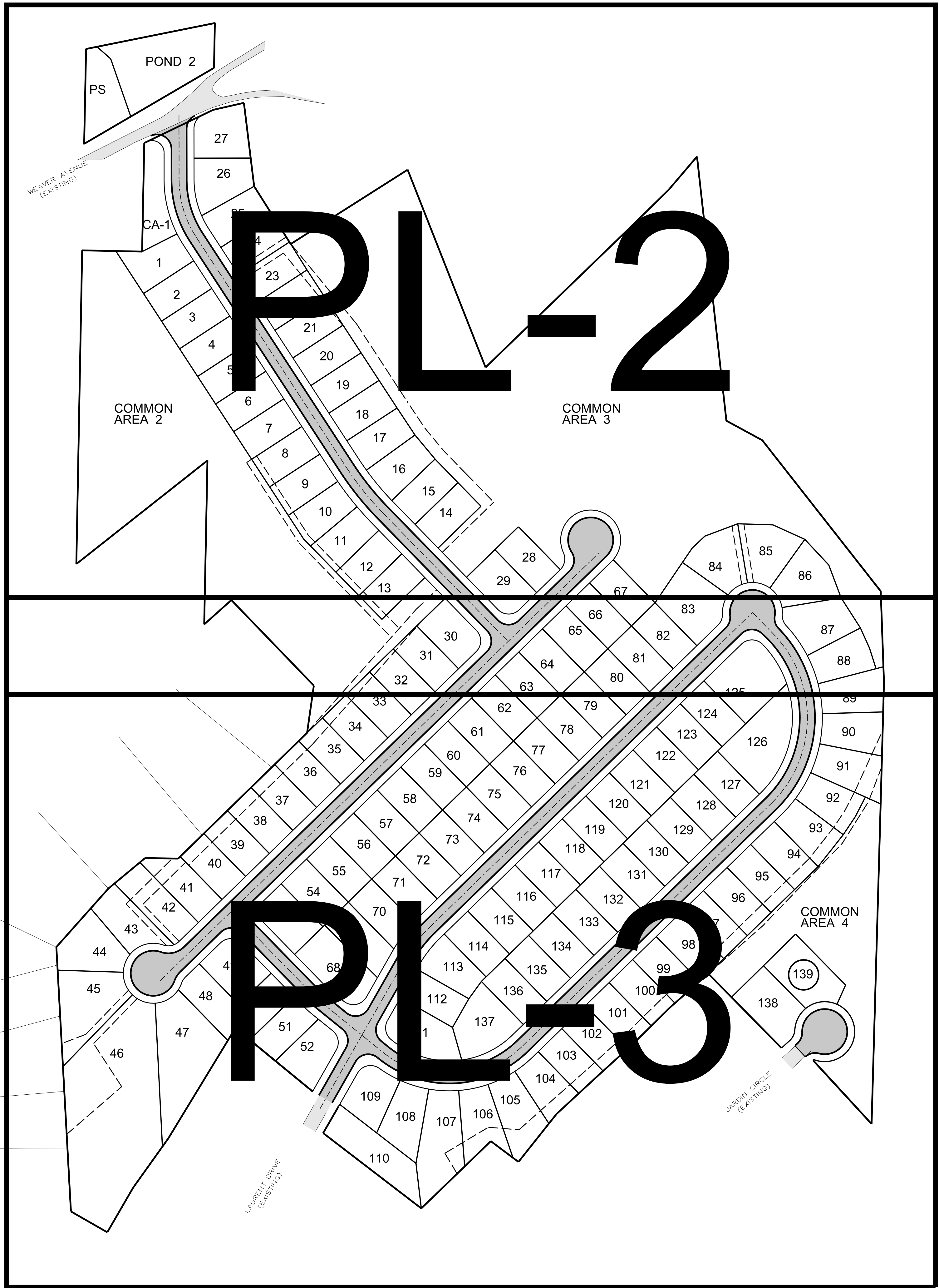
ENGINEER
INSITE ENGINEERING, LLC
5800 FELDSPAR WAY
HOOVER, AL 35244

SURVEYOR
RAY & GILLILAND, P.C.
122 NORTH CALHOUN STREET
P.O. BOX 1183
SYLACAUGA, ALABAMA 35150

OWNER
SMITH DOUGLASS HOMES
248 CAHABA VALLEY PKWY
PELHAM AL 35124

PROPERTY ZONED: R-6

ALL LOTS: FRONT YARD SETBACK - 20'
REAR YARD SETBACK - 20'



- NOTES:
- BOUNDARY PROVIDED AND TOPO PROVIDED BY RAY AND GILLILAND.
 - INSITE ENGINEERING MAKES NO GEOTECHNICAL ASSUMPTIONS OR RESPONSIBILITY FOR SUBGRADE CONDITIONS. ALL GEOTECHNICAL MATTERS SHALL BE ADDRESSED BY A GEOTECHNICAL ENGINEER.
 - ALL WORK SHALL COMPLY WITH THE CITY OF LEEDS REGULATIONS AND LEEDS WATER WORKS BOARD REQUIREMENTS.
 - JOB SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALABAMA ONE CALL SHALL BE CALLED AND ALL UTILITIES LOCATED 48 HOURS PRIOR TO CONSTRUCTION.
 - ALL RIP-RAP SHALL BE CLASS 2 PER THE ALDOT STANDARD SPECIFICATIONS.
 - STRIP ALL TOP SOIL WITHIN BUILDING AND PAVEMENT AREAS, AND STOCKPILE FOR LATER USE. DISPOSE OF ANY EXCESS TOPSOIL IN LOCATIONS ON SITE AS DIRECTED BY THE OWNER.
 - MATERIAL TO BE USED AS FILL SHALL BE FREE OF ORGANICS, WITH NO ROCK PARTICLE SIZE GREATER THAN 6" AND A LIQUID LIMIT NOT EXCEEDING 50 AND A PLASTICITY INDEX OF 25. MATERIAL SHALL ALSO HAVE A MINIMUM STANDARD PROCTOR MAXIMUM DRY DENSITY OF 100 PCF. ROCK FRAGMENTS SHALL COMPOSE NO MORE THAN 40% OF THE FILL MASS.
 - A SUBSURFACE INVESTIGATION HAS NOT BEEN DONE. INSITE ENGINEERING, LLC ALWAYS RECOMMENDS OBTAINING A GEOTECHNICAL REPORT PRIOR TO CONSTRUCTION. FILL COMPACTION REQUIREMENTS, TYPE REQUIREMENTS, AND PAVEMENT BUILD UPS SHOULD BE DIRECTED AND PROVIDED BY THE GEOTECHNICAL ENGINEER.
 - CONTRACTOR IS CAUTIONED THAT ALL UTILITIES ON SITE MAY NOT BE SHOWN AND THE UTILITIES SHOWN ARE APPROXIMATE.
 - THE MINIMUM HORIZONTAL CLEARANCE BETWEEN WATER SUPPLY LINES AND SANITARY SEWER LINES IS 5 FEET. THE MINIMUM VERTICAL CLEARANCE BETWEEN WATER SUPPLY LINES AND SANITARY SEWER LINES IS 2 FEET.
 - ALL UTILITY TRENCHES OUTSIDE OF THE ROADWAY SHALL BE BACKFILLED WITH SUITABLE FILL AND COMPACTED PER ASTM D-998 TO 95% THE MAXIMUM DRY DENSITY WITHIN 2% OF OPTIMUM MOISTURE CONTENT IN 6" LOOSE LIFTS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ALL WATER, SANITARY SEWER, AND STORM SEWER FROM THE MAIN LINE TO THE RIGHT OF WAY LINE.
 - DRIVEWAYS WILL BE INSTALLED AFTER THE HOUSE IS POSITIONED ON THE LOT.
 - ALL EASEMENTS WITHIN AND WITHOUT SHALL BE FOR ALL UTILITIES USES. ACCESS MAY BE AT THE CITY'S, COUNTY'S, AND UTILITIES DISCRETION.
 - ALL EMBANKMENTS SHALL BE INSTALLED IN MAX 10" LIFTS WITH 95% MINIMUM COMPACTION.
 - SPEED AND STOP SIGNS SHALL BE INSTALLED PRIOR TO FINAL INSPECTION.
 - STOP BAR AND CENTERLINE STRIPING SHALL BE INSTALLED AFTER FINAL SEAL COAT INSTALLATION.
 - ALL UTILITIES TO BE INSTALLED UNDERGROUND.
 - ALL PONDS, GREEN SPACE, OPEN SPACE, IRRIGATION, LANDSCAPING, ETC. TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
 - ALL EASEMENTS OUTSIDE OF R.O.W. SHALL BE MAINTAINED BY EACH PROPERTY OWNER.
 - NO FENCES ALLOWED TO BLOCK DRAINAGE EASEMENTS.
 - NO FENCES ALLOWED ON EASEMENTS.
 - ALL ITEMS HAVE BEEN DESIGNED IN ACCORDANCE TO THE 2015 EDITION OF THE INTERNATIONAL FIRE CODE AS DIRECTED AND DESCRIBED.
 - IF ROADWAYS ARE OPEN TO TRAFFIC PRIOR TO FINAL SEAL COAT, TEMPORARY STRIPING WILL BE REQUIRED.

NAME	RADIUS	CURVE LENGTH	CHORD LENGTH	CHORD BEARING	DELTA
1-1	200.00'	21.80'	21.79'	S 30° 00' 06.54" E	6° 14' 38.97" LT
9-1	525.00'	11.92'	11.92'	S 33° 46' 27.44" E	1° 18' 02.82" LT
10-1	525.00'	52.98'	52.96'	S 37° 18' 56.70" E	5° 46' 55.71" LT
11-1	525.00'	37.24'	37.23'	S 42° 14' 20.46" E	4° 03' 51.81" LT
15-1	475.00'	4.10'	4.10'	N 44° 01' 26.66" W	0° 28' 39.41" RT
16-1	475.00'	66.14'	66.09'	N 39° 47' 16.76" W	7° 58' 40.41" RT
17-1	475.00'	22.18'	22.18'	N 34° 27' 41.28" W	2° 40' 30.52" RT
25-1	150.00'	24.96'	24.93'	N 28° 21' 26.49" W	9° 31' 59.07" RT
26-1	150.00'	61.53'	61.10'	N 11° 50' 22.47" W	23° 30' 08.97" RT
27-1	25.00'	28.09'	26.64'	N 32° 06' 16.78" E	64° 23' 09.52" RT
48-2	25.00'	32.92'	35.36'	N 89° 16' 16.37" E	90° 00' 00.00" RT
30-1	25.00'	39.27'	35.36'	S 0° 43' 43.63" W	90° 00' 00.00" RT
42-1	25.00'	9.57'	9.51'	S 56° 41' 39.50" W	21° 55' 51.74" RT
43-1	25.00'	18.32'	17.91'	S 88° 39' 11.09" W	41° 59' 11.43" RT
43-2	50.00'	61.78'	57.92'	S 74° 14' 59.51" W	70° 47' 34.58" LT
44-1	50.00'	31.76'	31.76'	S 20° 12' 37" W	37° 01' 39.10" LT
45-1	50.00'	41.65'	40.46'	S 22° 02' 34.83" E	47° 43' 34.72" LT
46-1	50.00'	41.65'	40.46'	S 69° 46' 09.55" E	47° 43' 34.72" LT
47-1	50.00'	46.33'	44.69'	N 59° 49' 14.73" E	53° 05' 36.72" LT
48-1	50.00'	12.40'	12.37'	N 26° 10' 13.40" E	14° 12' 25.93" LT
49-2	25.00'	11.63'	11.53'	N 32° 23' 52.03" E	26° 39' 43.19" LT
49-1	25.00'	39.27'	35.36'	S 89° 16' 16.37" E	90° 00' 00.00" RT
51-1	200.00'	23.38'	23.37'	S 47° 37' 14.17" E	6° 41' 55.59" LT
52-1	25.00'	35.19'	32.36'	S 10° 38' 37.25" E	80° 39' 09.44" RT
53-1	25.00'	39.27'	35.36'	N 0° 43' 43.62" E	89° 59' 59.99" RT
68-1	25.00'	40.00'	37.87'	N 43° 00' 48.25" E	04° 29' 50.16" LT
68-2	25.00'	43.44'	38.18'	S 79° 14' 52.84" W	99° 33' 48.46" RT
68-2	150.00'	17.54'	17.53'	N 47° 37' 14.17" W	6° 41' 55.59" RT
69-1	248.92'	2.48'	2.48'	S 29° 56' 22.12" W	0° 34' 18.84" LT
70-1	248.92'	55.81'	55.70'	S 36° 38' 56.61" W	12° 50' 50.13" LT
71-1	248.92'	11.72'	11.72'	S 44° 25' 15.90" W	2° 41' 48.45" LT
83-1	50.00'	33.19'	32.59'	S 16° 33' 28.65" W	38° 02' 15.76" LT
83-2	25.00'	21.03'	20.41'	S 21° 38' 02.20" W	48° 11' 22.87" RT
84-1	50.00'	39.29'	38.28'	S 58° 05' 09.13" W	45° 01' 05.20" LT
85-1	50.00'	39.29'	38.28'	N 76° 53' 45.69" W	45° 01' 05.20" LT
86-1	50.00'	38.28'	38.28'	N 31° 50' 40.49" W	45° 01' 05.20" LT
87-1	225.00'	60.85'	60.66'	N 35° 09' 23.50" W	15° 29' 41.38" LT
87-2	25.00'	20.46'	19.90'	N 19° 27' 22.60" W	46° 53' 43.17" RT
87-3	50.00'	11.66'	11.63'	N 2° 41' 19.44" W	13° 21' 36.84" LT
88-1	225.00'	50.51'	50.40'	N 20° 58' 40.64" W	12° 51' 44.34" LT
89-1	225.00'	50.51'	50.40'	N 8° 06' 56.30" W	12° 51' 44.34" LT
90-1	225.00'	50.51'	50.40'	N 4° 44' 48.05" E	12° 51' 44.34" LT
91-1	225.00'	50.51'	50.40'	N 17° 36' 32.39" E	12° 51' 44.34" LT
92-1	225.00'	50.51'	50.40'	N 30° 28' 16.74" E	12° 51' 44.34" LT
93-1	225.00'	34.66'	34.63'	N 41° 18' 56.27" E	8° 49' 34.72" LT
104-1	200.00'	38.82'	38.76'	N 51° 17' 19.78" E	11° 07' 16.02" LT
105-1	200.00'	50.00'	49.87'	N 64° 00' 39.03" E	14° 19' 26.20" LT
106-1	200.00'	50.00'	49.87'	N 78° 20' 05.23" E	14° 19' 26.20" LT
107-1	200.00'	50.00'	49.87'	S 87° 20' 28.56" E	14° 19' 26.20" LT
108-1	200.00'	50.00'	49.87'	S 73° 01' 02.36" E	14° 19' 26.20" LT
109-1	200.00'	40.28'	40.28'	S 60° 31' 20" E	11° 33' 05.12" LT
109-2	25.00'	41.90'	37.16'	N 77° 41' 37.16" E	96° 01' 19.38" RT
111-1	150.00'	123.04'	119.62'	N 74° 28' 09.68" W	46° 59' 55.43" RT
111-2	25.00'	35.19'	32.36'	N 10° 38' 37.25" W	80° 39' 09.44" RT
113-1	200.00'	56.01'	55.83'	N 37° 42' 20.55" E	16° 02' 46.16" RT
125-1	25.00'	39.27'	35.36'	S 89° 16' 16.37" E	90° 00' 00.00" RT
125-2	175.00'	77.51'	76.88'	S 31° 34' 57.89" E	25° 22' 36.96" RT
126-1	175.00'	197.38'	187.08'	S 13° 25' 02.11" W	64° 37' 23.04" RT
137-1	150.00'	95.04'	93.46'	S 63° 52' 48.12" W	36° 18' 08.98" RT
138-1	50.00'	41.44'	40.26'	S 26° 45' 05.81" W	65° 32' 42.33" LT
138-2	25.00'	19.34'	18.86'	S 25° 10' 13.32" W	44° 19' 16.99" RT
139-1	50.00'	42.40'	41.14'	N 87° 09' 08.16" W	48° 35' 09.33" LT
CA1-1	20.00'	40.36'	33.85'	N 57° 53' 43.22" W	115° 36' 50.48" LT
CA1-2	200.00'	93.52'	92.67'	N 13° 29' 02.52" W	26° 47' 29.07" LT
CA3-1	50.00'	214.76'	83.82'	N 81° 45' 03.56" W	246° 05' 52.85" LT
CA3-2	25.00'	30.77'	28.87'	N 10° 17' 51.82" E	70° 31' 43.61" LT
CA4-1	50.00'	155.24'	99.98'	N 23° 04' 09.80" E	177° 53' 25.89" LT

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CONSTRUCTION PLANS FOR:

DANSBY

LEEDS, ALABAMA

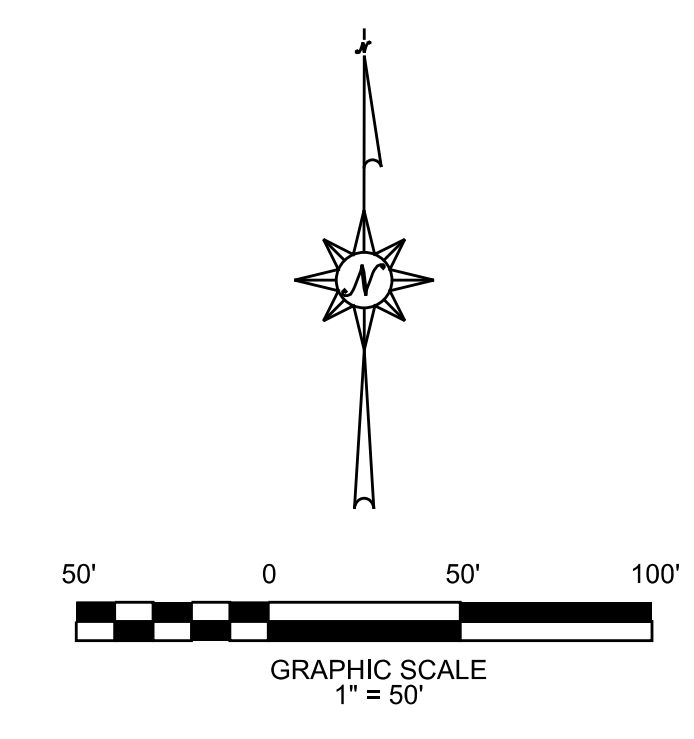
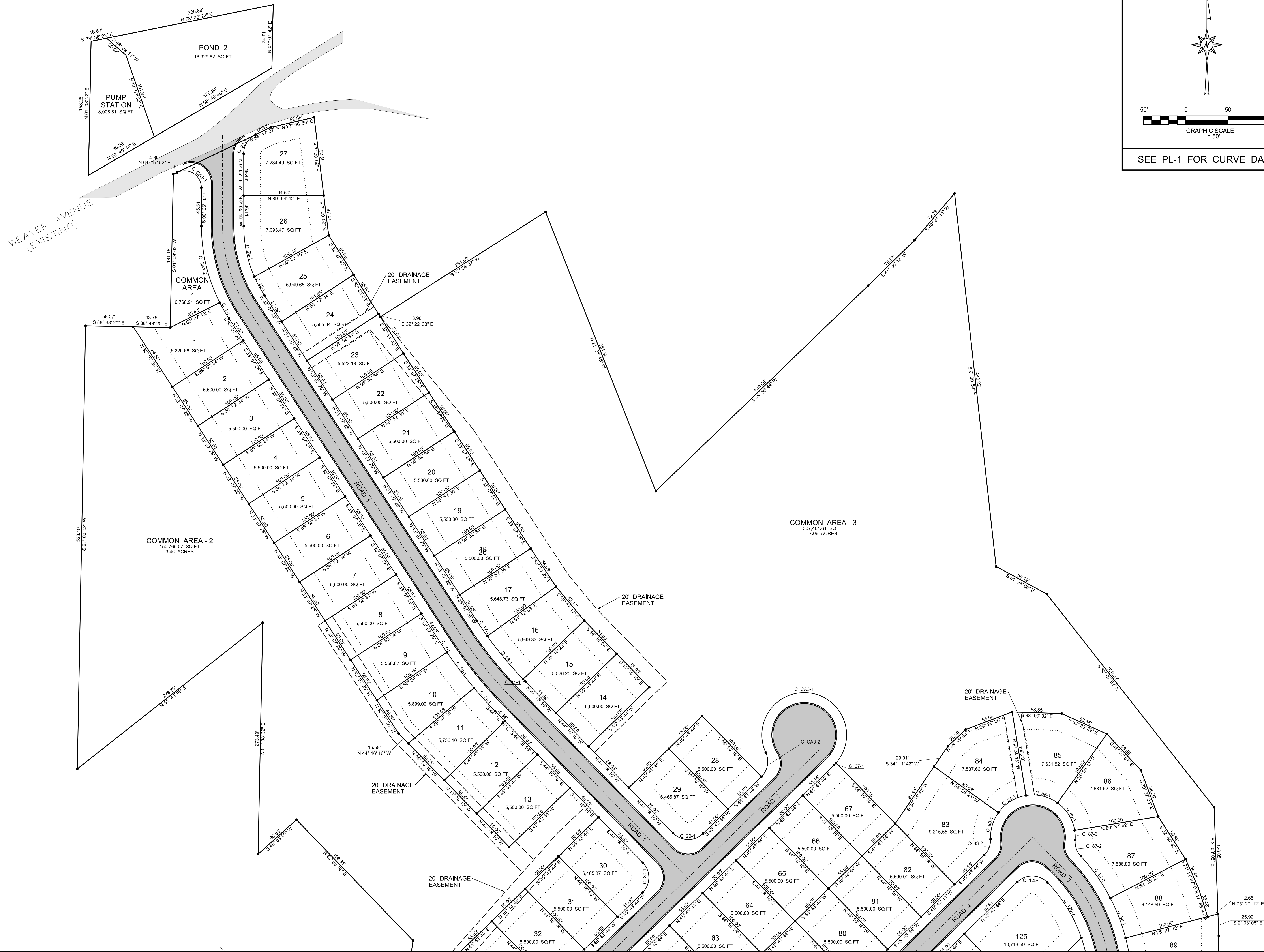
PROJECT INFO:
INSITE JOB No. 22098.00
PLOTTED: 4/25/23

4/25/23

THIS SHEET CONTAINS:
PRELIMINARY PLAT
SHEET INDEX

SCALE: 1"= 100'
SHEET 5 OF 44

PL-1



SEE PL-1 FOR CURVE DATA

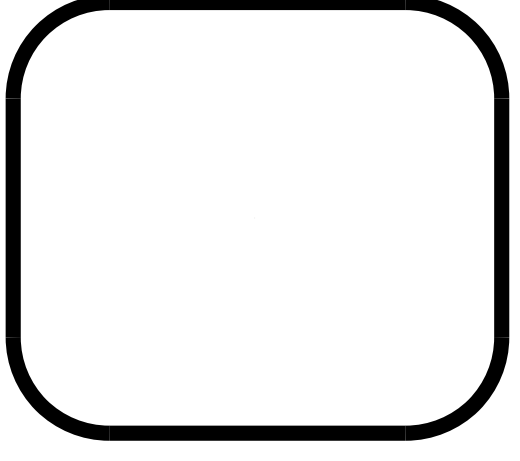
INSITE ENGINEERING
 5800 FELDSPAR WAY
 HOOVER, ALABAMA 35244
 OFFICE (205) 733-9698
 www.insiteengineering.org

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CONSTRUCTION PLANS FOR:

DANSBY

LEEDS, ALABAMA

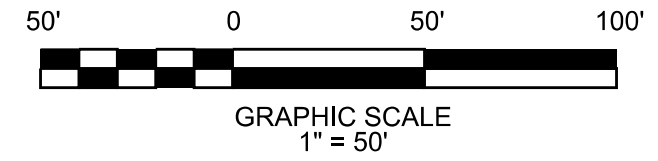
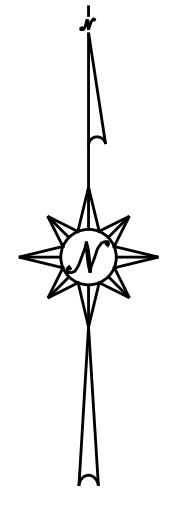


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 INSITE JOB No. 22098.00
 PLOTTED: 4/25/23

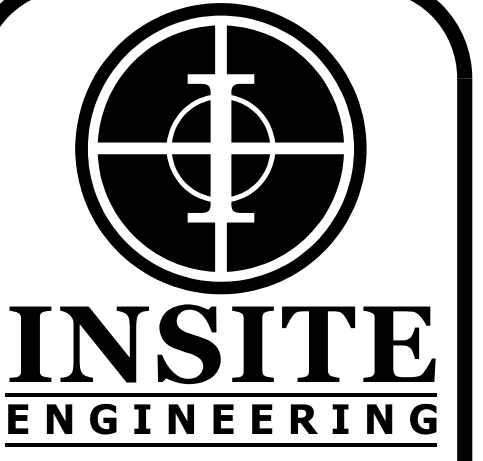
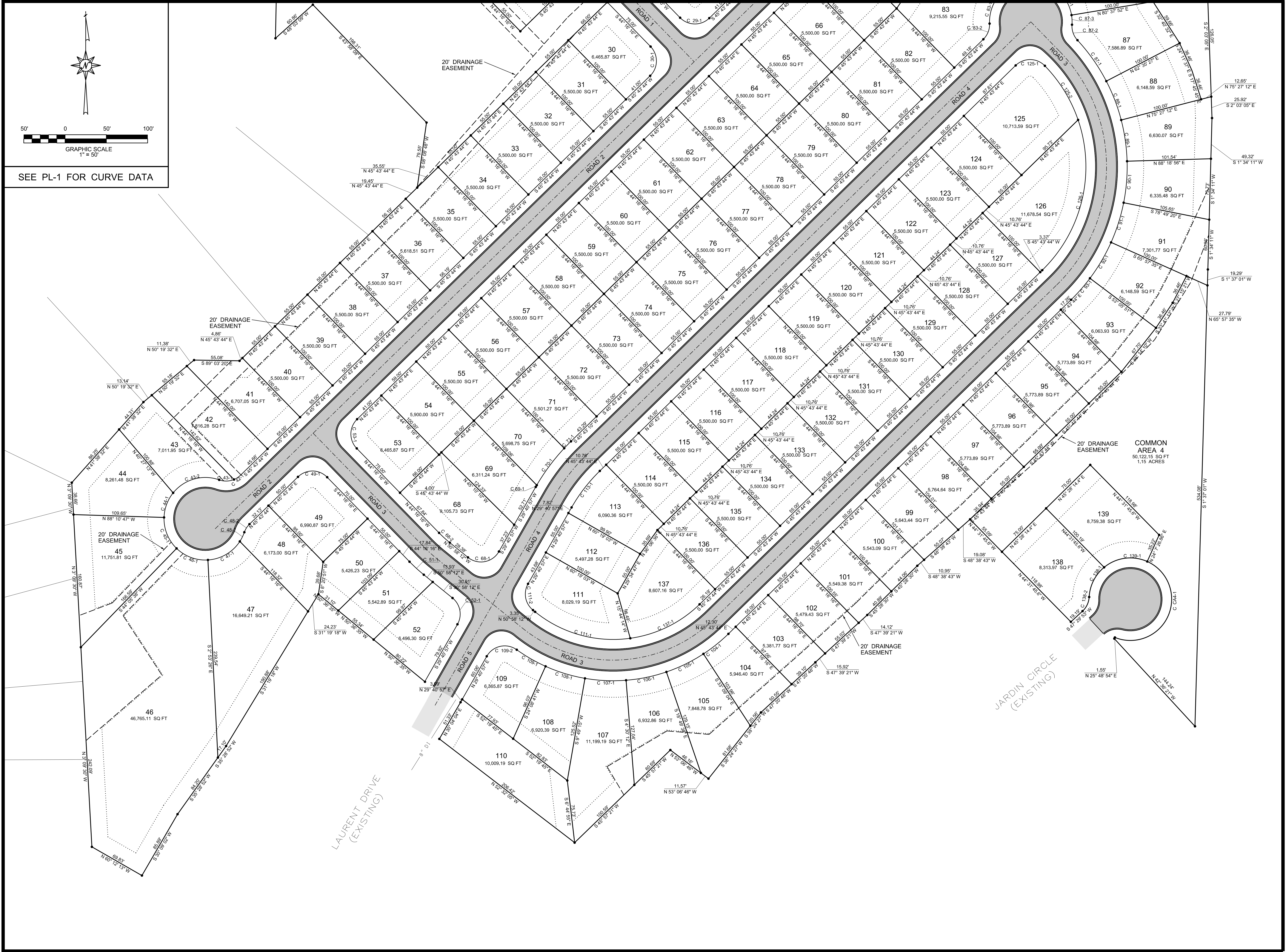
THIS SHEET CONTAINS:
PRELIMINARY PLAT

SCALE: 1"= 50'
 SHEET 6 OF 44
PL-2

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SEE PL-1 FOR CURVE DATA



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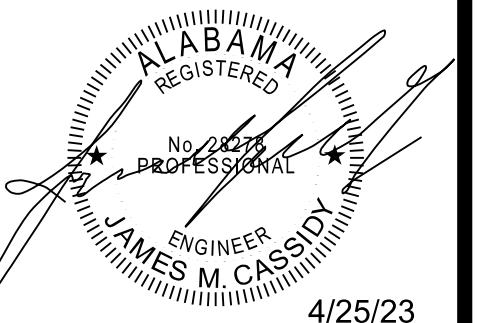
CONSTRUCTION PLANS FOR:

DANSBY

LEEDS, ALABAMA

PROJECT INFO:

INSITE JOB No. 22098.00
PLOTTED: 4/25/23



THIS SHEET CONTAINS:
PRELIMINARY PLAT

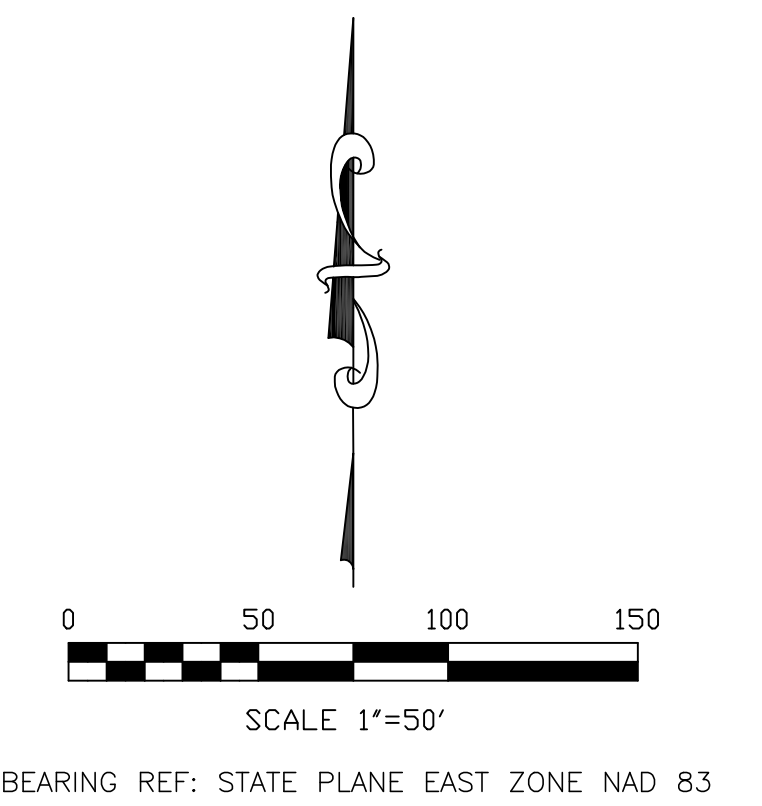
SCALE: 1"= 50'
SHEET 7 OF 44

PL-3

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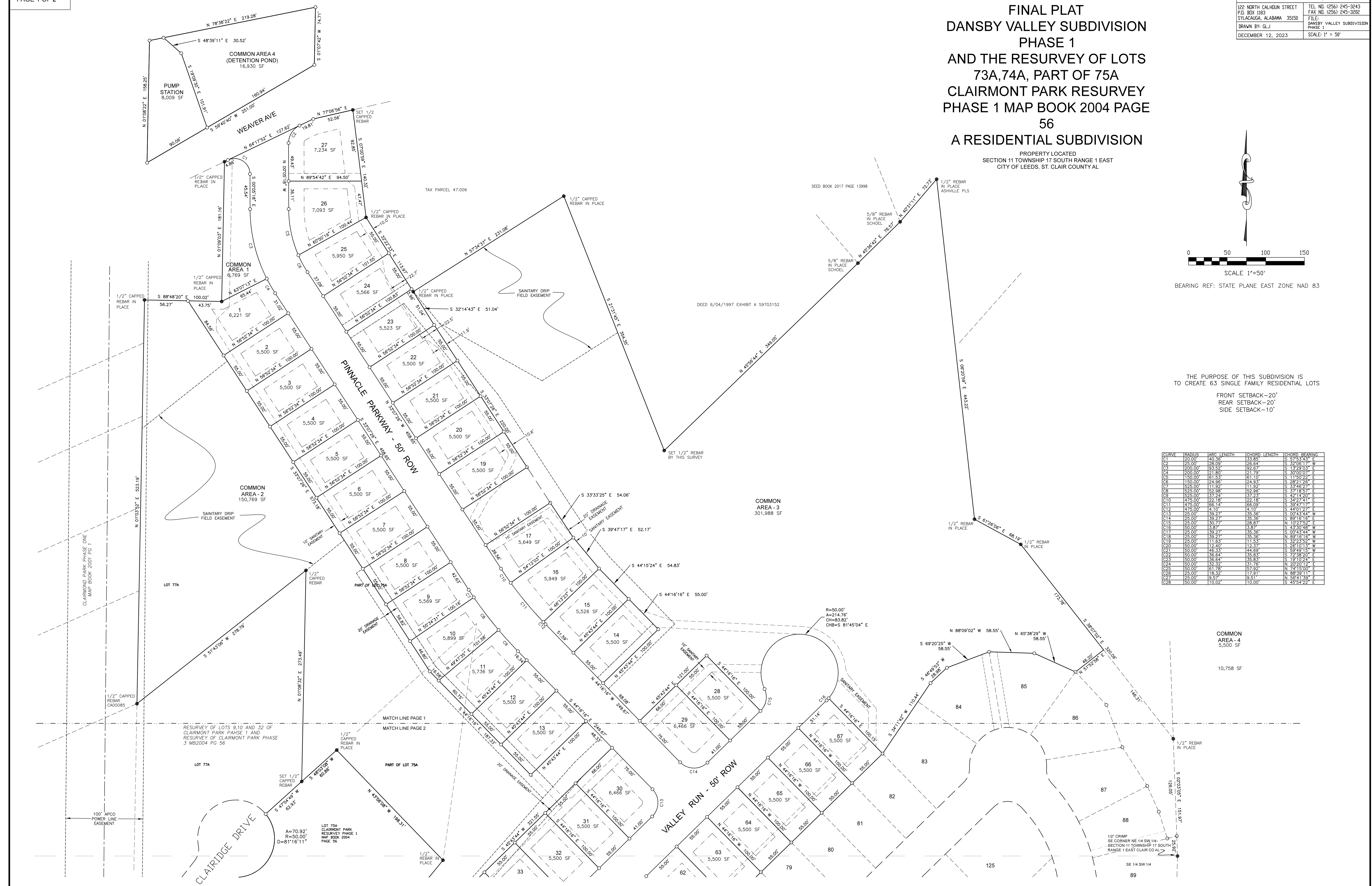
FINAL PLAT
DANSBY VALLEY SUBDIVISION
PHASE 1
AND THE RESURVEY OF LOTS
73A,74A, PART OF 75A
CLAIRMONT PARK RESURVEY
PHASE 1 MAP BOOK 2004 PAGE
56
A RESIDENTIAL SUBDIVISION

PROPERTY LOCATED
 SECTION 11 TOWNSHIP 17 SOUTH RANGE 1 EAST
 CITY OF LEEDS, ST. CLAIR COUNTY AL



THE PURPOSE OF THIS SUBDIVISION IS
 TO CREATE 63 SINGLE FAMILY RESIDENTIAL LOTS
 FRONT SETBACK-20'
 REAR SETBACK-20'
 SIDE SETBACK-10'

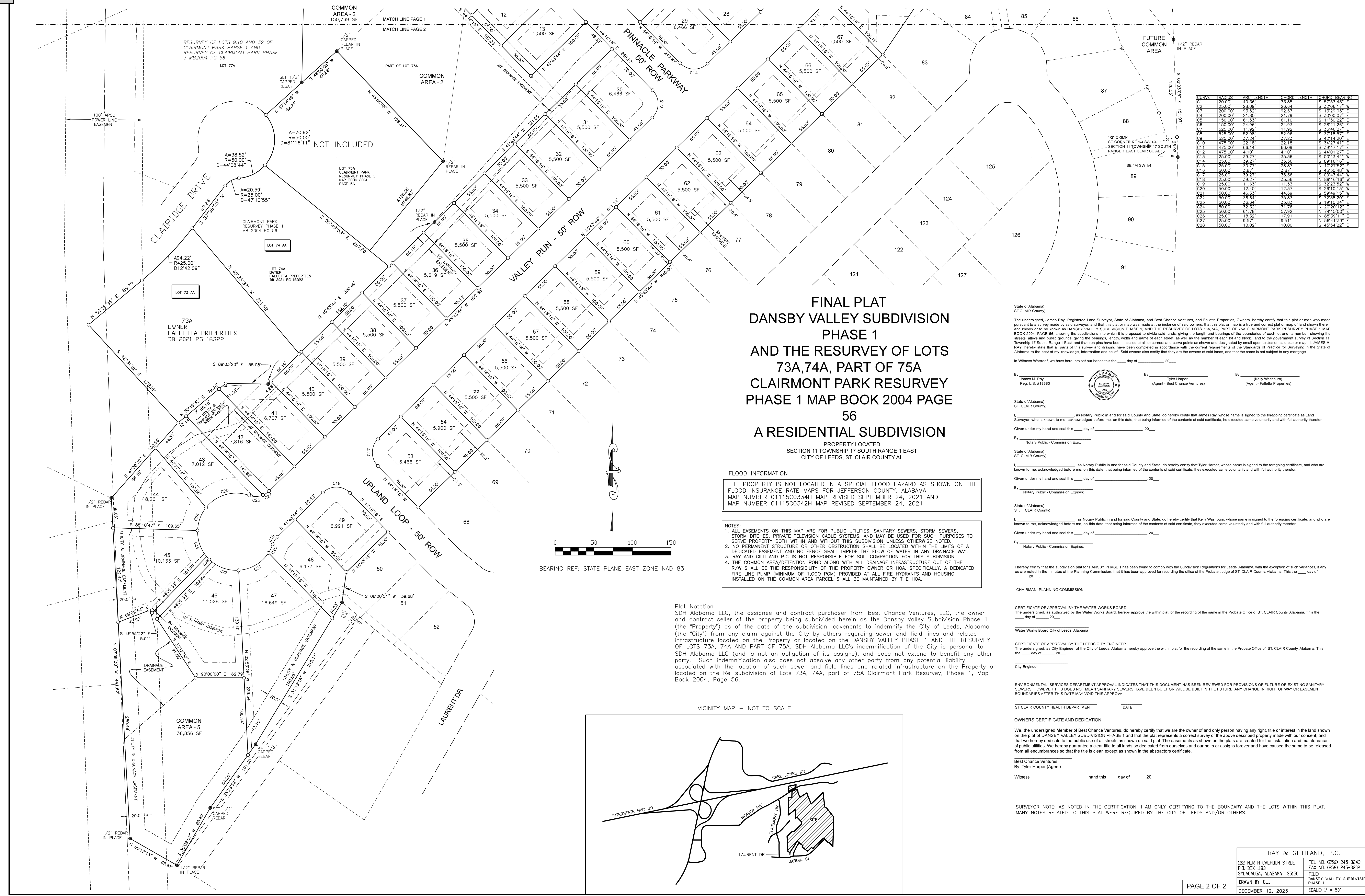
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	20.00'	40.36'	33.85'	S 57°53'43" E
C2	25.00'	28.69'	26.64'	S 32°00'17" W
C3	200.00'	65.52'	62.67'	S 13°50'03" E
C4	200.00'	21.80'	21.79'	S 30°00'07" E
C5	150.00'	61.53'	61.10'	S 11°50'22" E
C6	150.00'	24.96'	24.93'	S 28°21'26" E
C7	525.00'	11.92'	11.92'	S 33°46'27" E
C8	525.00'	52.98'	52.98'	S 37°18'57" E
C9	525.00'	37.24'	37.23'	S 42°14'20" E
C10	475.00'	22.18'	22.18'	S 34°27'21" E
C11	475.00'	66.14'	66.09'	S 39°47'17" E
C12	475.00'	4.10'	4.10'	S 44°01'27" E
C13	25.00'	39.27'	35.36'	S 02°43'44" W
C14	25.00'	39.27'	35.36'	S 89°18'18" E
C15	25.00'	30.77'	28.87'	N 10°27'52" E
C16	50.00'	13.77'	13.77'	S 43°30'48" W
C17	25.00'	39.27'	35.36'	S 02°43'44" W
C18	25.00'	39.27'	35.36'	N 89°18'18" W
C19	25.00'	11.63'	11.63'	S 32°23'52" W
C20	50.00'	12.40'	12.37'	S 26°10'13" W
C21	50.00'	46.13'	44.69'	S 59°49'15" W
C22	50.00'	16.64'	16.83'	S 72°38'20" E
C23	50.00'	16.64'	16.83'	S 18°10'24" E
C24	50.00'	19.32'	19.76'	N 02°02'12" E
C25	50.00'	61.78'	57.92'	N 74°15'00" E
C26	25.00'	18.32'	17.93'	N 88°59'11" E
C27	25.00'	9.37'	9.31'	N 86°41'39" E
C28	50.00'	10.02'	10.00'	S 45°54'22" E



RESURVEY OF LOTS 9, 10 AND 32 OF
 CLAIMONT PARK PHASE 1 AND
 RESURVEY OF CLAIMONT PARK PHASE
 3 MB2004 PG 56

LOT 75A CLAIMONT PARK
 RESURVEY PHASE 1
 MAP BOOK 2004
 PAGE 56
 A=70.92'
 R=50.00'
 D=81°16'11"

COMMON
 AREA - 4
 5,500 SF
 10,758 SF



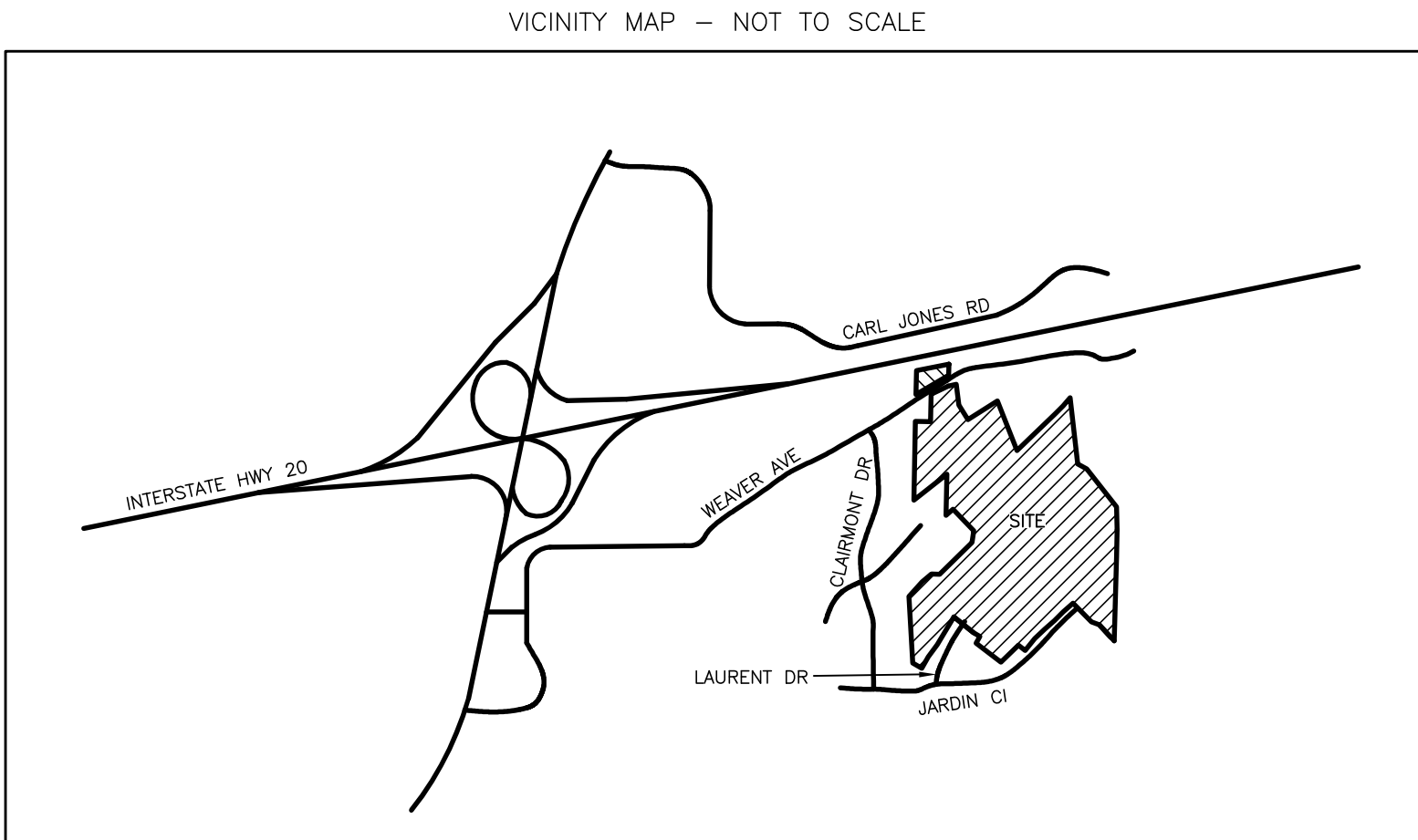
**FINAL PLAT
DANSBY VALLEY SUBDIVISION
PHASE 1
AND THE RESURVEY OF LOTS
73A, 74A, PART OF 75A
CLAIRMONT PARK RESURVEY
PHASE 1 MAP BOOK 2004 PAGE
56
A RESIDENTIAL SUBDIVISION**

PROPERTY LOCATED
SECTION 11 TOWNSHIP 17 SOUTH RANGE 1 EAST
CITY OF LEEDS, ST. CLAIR COUNTY AL

FLOOD INFORMATION
THE PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AS SHOWN ON THE FLOOD INSURANCE RATE MAPS FOR JEFFERSON COUNTY, ALABAMA MAP NUMBER 01115C0334H MAP REVISED SEPTEMBER 24, 2021 AND MAP NUMBER 01115C0342H MAP REVISED SEPTEMBER 24, 2021

NOTES:
1. ALL EASEMENTS ON THIS MAP ARE FOR PUBLIC UTILITIES, SANITARY SEWERS, STORM SEWERS, STORM DITCHES, PRIVATE TELEVISION CABLE SYSTEMS, AND MAY BE USED FOR SUCH PURPOSES TO SERVE PROPERTY BOTH WITHIN AND WITHOUT THIS SUBDIVISION UNLESS OTHERWISE NOTED.
2. NO PERMANENT STRUCTURE OR OTHER OBSTRUCTION SHALL BE LOCATED WITHIN THE LIMITS OF A DEDICATED EASEMENT AND NO FENCE SHALL IMPEDE THE FLOW OF WATER IN ANY DRAINAGE WAY.
3. RAY AND GILLILAND P.C IS NOT RESPONSIBLE FOR SOIL COMPACTION FOR THIS SUBDIVISION.
4. THE COMMON AREA/RETENTION POND ALONG WITH ALL DRAINAGE INFRASTRUCTURE OUT OF THE R/W SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER OR HOA. SPECIFICALLY, A DEDICATED FIRE LINE PUMP (MINIMUM OF 1,000 GPM) PROVIDED AT ALL FIRE HYDRANTS AND HOUSING INSTALLED ON THE COMMON AREA PARCEL SHALL BE MAINTAINED BY THE HOA.

Plot Notation
SDH Alabama LLC, the assignee and contract purchaser from Best Chance Ventures, LLC, the owner and contract seller of the property being subdivided herein as the Dansby Valley Subdivision Phase 1 (the "Property") as of the date of the subdivision, covenants to indemnify the City of Leeds, Alabama (the "City") from any claim against the City by others regarding sewer and field lines and related infrastructure located on the Property or located on the DANSBY VALLEY PHASE 1 AND THE RESURVEY OF LOTS 73A, 74A AND PART OF 75A. SDH Alabama LLC's indemnification of the City is personal to SDH Alabama LLC (and is not an obligation of its assigns), and does not extend to benefit any other party. Such indemnification also does not absolve any other party from any potential liability associated with the location of such sewer and field lines and related infrastructure on the Property or located on the Re-subdivision of Lots 73A, 74A, part of 75A Clairmont Park Resurvey, Phase 1, Map Book 2004, Page 56.



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	25.00'	42.09'	31.69'	S 39°41'17" W
C2	25.00'	42.09'	31.69'	S 39°41'17" W
C3	200.00'	93.52'	92.87'	S 19°20'03" E
C4	200.00'	93.52'	92.87'	S 19°20'03" E
C5	150.00'	61.53'	61.10'	S 11°50'22" E
C6	150.00'	61.53'	61.10'	S 11°50'22" E
C7	150.00'	24.96'	24.93'	S 28°21'26" E
C8	150.00'	24.96'	24.93'	S 28°21'26" E
C9	25.00'	11.92'	11.92'	S 4°42'21" E
C10	475.00'	72.18'	72.18'	S 34°29'41" E
C11	475.00'	66.14'	66.09'	S 39°47'17" E
C12	475.00'	4.10'	4.10'	S 44°01'27" E
C13	25.00'	39.27'	35.36'	S 00°43'44" W
C14	25.00'	39.27'	35.36'	S 00°43'44" W
C15	25.00'	39.27'	35.36'	S 00°43'44" W
C16	50.00'	3.87'	3.87'	S 43°30'48" W
C17	25.00'	39.27'	35.36'	S 00°43'44" W
C18	25.00'	39.27'	35.36'	S 00°43'44" W
C19	25.00'	11.63'	11.53'	S 32°23'52" W
C20	50.00'	12.40'	12.37'	S 29°10'13" W
C21	50.00'	46.33'	44.69'	S 59°49'15" W
C22	50.00'	36.64'	35.83'	S 72°35'20" E
C23	50.00'	36.64'	35.83'	S 72°35'20" E
C24	50.00'	32.32'	31.76'	N 20°20'12" E
C25	50.00'	61.78'	57.92'	N 74°15'00" E
C26	25.00'	18.32'	17.91'	N 86°39'11" E
C27	25.00'	9.57'	9.51'	N 56°41'39" E
C28	50.00'	110.02'	110.00'	S 45°54'22" E

State of Alabama
ST. CLAIR County
The undersigned, James Ray, Registered Land Surveyor, State of Alabama, and Best Chance Ventures, and Falletta Properties, Owners, hereby certify that this plat or map was made pursuant to a survey made by said surveyor, and that this plat or map was made at the instance of said owners, that this plat or map is a true and correct plat or map of land shown therein and known to be known as DANSBY VALLEY SUBDIVISION PHASE 1, AND THE RESURVEY OF LOTS 73A, 74A, PART OF 75A CLAIRMONT PARK RESURVEY PHASE 1, MAP BOOK 2004, PAGE 56, showing the subdivisions into which it is proposed to divide said lands, giving the length and bearings of the boundaries of each lot and the government survey of Section 11, Township 17 South, Range 1 East, and that no area have been retained at all lot corners and curve points as shown and designated by small open circles on said plat or map. I, JAMES M. RAY, hereby state that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information and belief. Said owners also certify that they are the owners of said lands, and that the same is not subject to any mortgage.
In Witness Whereof, we have hereunto set our hands this ___ day of _____, 20__.

By: James M. Ray, Reg. L.S. #18383
By: Tyler Harper, (Agent - Best Chance Ventures)
By: (Kelly Washburn) (Agent - Falletta Properties)

State of Alabama
ST. CLAIR County
I, _____ as Notary Public in and for said County and State, do hereby certify that James Ray, whose name is signed to the foregoing certificate as Land Surveyor, who is known to me, acknowledged before me, on this date, that being informed of the contents of said certificate, he executed same voluntarily and with full authority therefor.
Given under my hand and seal this ___ day of _____, 20__.

State of Alabama
ST. CLAIR County
I, _____ as Notary Public in and for said County and State, do hereby certify that Tyler Harper, whose name is signed to the foregoing certificate, and who are known to me, acknowledged before me, on this date, that being informed of the contents of said certificate, they executed same voluntarily and with full authority therefor.
Given under my hand and seal this ___ day of _____, 20__.

State of Alabama
ST. CLAIR County
I, _____ as Notary Public in and for said County and State, do hereby certify that Kelly Washburn, whose name is signed to the foregoing certificate, and who are known to me, acknowledged before me, on this date, that being informed of the contents of said certificate, they executed same voluntarily and with full authority therefor.
Given under my hand and seal this ___ day of _____, 20__.

I hereby certify that the subdivision plat for DANSBY PHASE 1 has been found to comply with the Subdivision Regulations for Leeds, Alabama, with the exception of such variances, if any as are noted in the minutes of the Planning Commission, that it has been approved for recording the office of the Probate Judge of ST. CLAIR County, Alabama. This the ___ day of _____, 20__.

CHAIRMAN, PLANNING COMMISSION
CERTIFICATE OF APPROVAL BY THE WATER WORKS BOARD
The undersigned, as authorized by the Water Works Board, hereby approve the within plat for the recording of the same in the Probate Office of ST. CLAIR County, Alabama. This the ___ day of _____, 20__.

Water Works Board City of Leeds, Alabama

CERTIFICATE OF APPROVAL BY THE LEEDS CITY ENGINEER
The undersigned, as City Engineer of the City of Leeds, Alabama hereby approve the within plat for the recording of the same in the Probate Office of ST. CLAIR County, Alabama. This the ___ day of _____, 20__.

City Engineer

ENVIRONMENTAL SERVICES DEPARTMENT APPROVAL INDICATES THAT THIS DOCUMENT HAS BEEN REVIEWED FOR PROVISIONS OF FUTURE OR EXISTING SANITARY SEWERS. HOWEVER THIS DOES NOT MEAN SANITARY SEWERS HAVE BEEN BUILT OR WILL BE BUILT IN THE FUTURE. ANY CHANGE IN RIGHT OF WAY OR EASEMENT BOUNDARIES AFTER THIS DATE MAY VOID THIS APPROVAL.

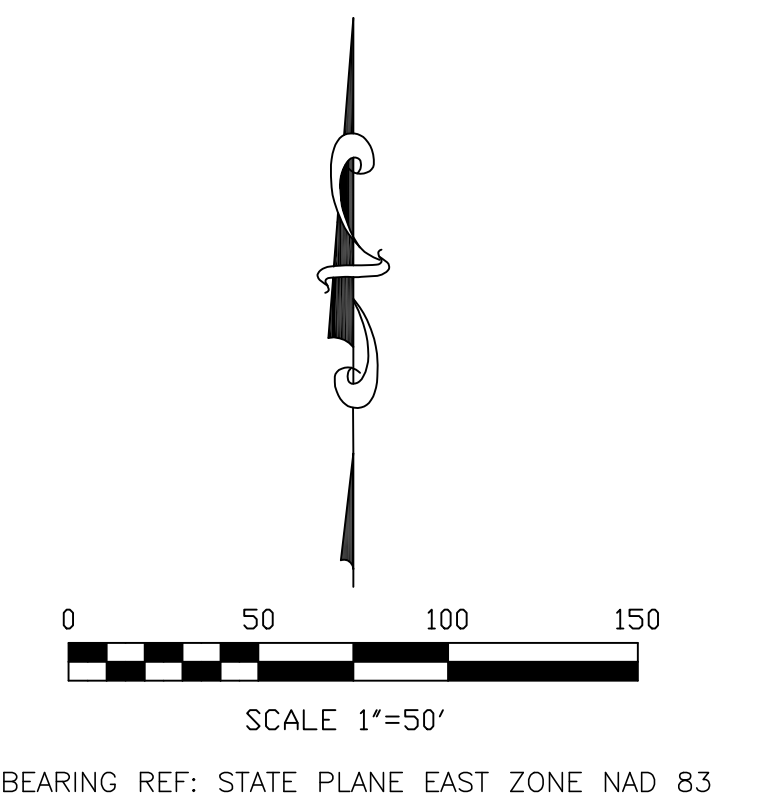
ST. CLAIR COUNTY HEALTH DEPARTMENT
OWNERS CERTIFICATE AND DEDICATION
We, the undersigned Member of Best Chance Ventures, do hereby certify that we are the owner of and only person having any right, title or interest in the land shown on the plat of DANSBY VALLEY SUBDIVISION PHASE 1 and that the plat represents a correct survey of the above described property made with our consent, and that we hereby dedicate to the public use of all streets as shown on said plat. The easements as shown on the plats are created for the installation and maintenance of public utilities. We hereby guarantee a clear title to all lands so dedicated from ourselves and our heirs or assigns forever and have caused the same to be released from all encumbrances so that the title is clear, except as shown in the abstractors certificate.

Best Chance Ventures
By: Tyler Harper (Agent)
Witness _____ hand this ___ day of _____, 20__.

SURVEYOR NOTE: AS NOTED IN THE CERTIFICATION, I AM ONLY CERTIFYING TO THE BOUNDARY AND THE LOTS WITHIN THIS PLAT. MANY NOTES RELATED TO THIS PLAT WERE REQUIRED BY THE CITY OF LEEDS AND/OR OTHERS.

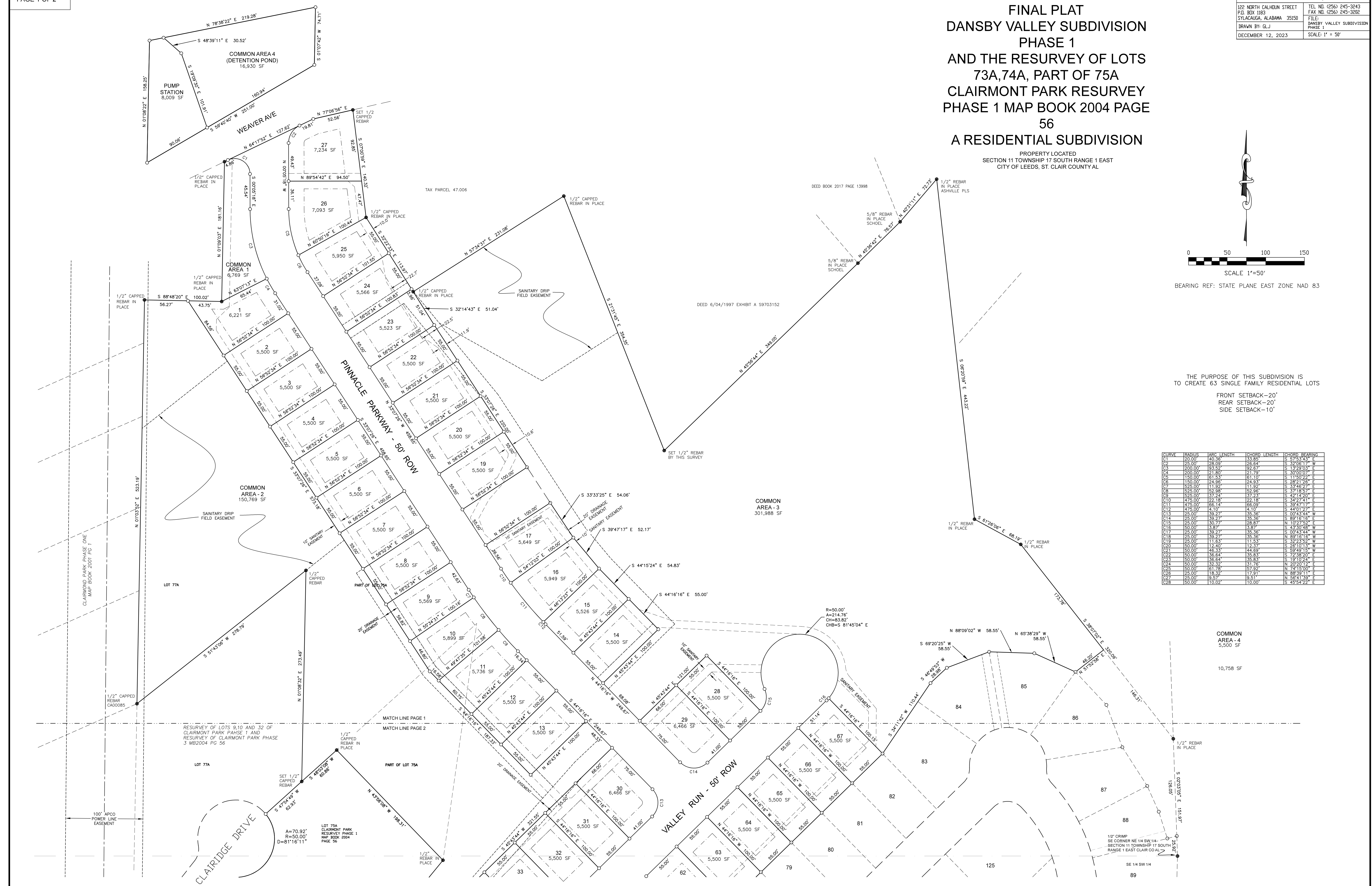
FINAL PLAT
DANSBY VALLEY SUBDIVISION
PHASE 1
AND THE RESURVEY OF LOTS
73A,74A, PART OF 75A
CLAIRMONT PARK RESURVEY
PHASE 1 MAP BOOK 2004 PAGE
56
A RESIDENTIAL SUBDIVISION

PROPERTY LOCATED
 SECTION 11 TOWNSHIP 17 SOUTH RANGE 1 EAST
 CITY OF LEEDS, ST. CLAIR COUNTY AL



THE PURPOSE OF THIS SUBDIVISION IS
 TO CREATE 63 SINGLE FAMILY RESIDENTIAL LOTS
 FRONT SETBACK-20'
 REAR SETBACK-20'
 SIDE SETBACK-10'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	20.00'	40.36'	33.85'	S 57°53'43" E
C2	25.00'	28.69'	26.64'	S 32°00'17" W
C3	200.00'	65.52'	62.67'	S 13°50'03" E
C4	200.00'	21.80'	21.79'	S 30°00'07" E
C5	150.00'	61.53'	61.10'	S 11°50'22" E
C6	150.00'	24.96'	24.93'	S 28°21'26" E
C7	525.00'	11.92'	11.92'	S 33°46'27" E
C8	525.00'	52.98'	52.98'	S 37°18'57" E
C9	525.00'	37.24'	37.23'	S 42°14'20" E
C10	475.00'	22.18'	22.18'	S 34°27'21" E
C11	475.00'	66.14'	66.09'	S 39°47'17" E
C12	475.00'	4.10'	4.10'	S 44°01'27" E
C13	25.00'	39.27'	35.36'	S 00°43'44" W
C14	25.00'	39.27'	35.36'	S 89°16'16" E
C15	25.00'	30.77'	28.87'	N 10°27'52" E
C16	25.00'	13.77'	13.77'	S 43°30'48" W
C17	25.00'	39.27'	35.36'	S 00°43'44" W
C18	25.00'	39.27'	35.36'	N 89°16'16" W
C19	25.00'	11.63'	11.63'	S 32°23'52" W
C20	50.00'	12.40'	12.37'	S 26°10'13" W
C21	50.00'	46.13'	44.69'	S 59°49'15" W
C22	50.00'	16.64'	16.63'	S 72°38'20" E
C23	50.00'	16.64'	16.63'	S 18°10'24" E
C24	50.00'	19.32'	19.31'	N 02°02'12" E
C25	50.00'	61.78'	57.92'	N 74°15'00" E
C26	25.00'	18.32'	17.93'	N 88°59'11" E
C27	25.00'	9.37'	9.31'	N 86°41'39" E
C28	50.00'	10.02'	10.00'	S 45°54'22" E

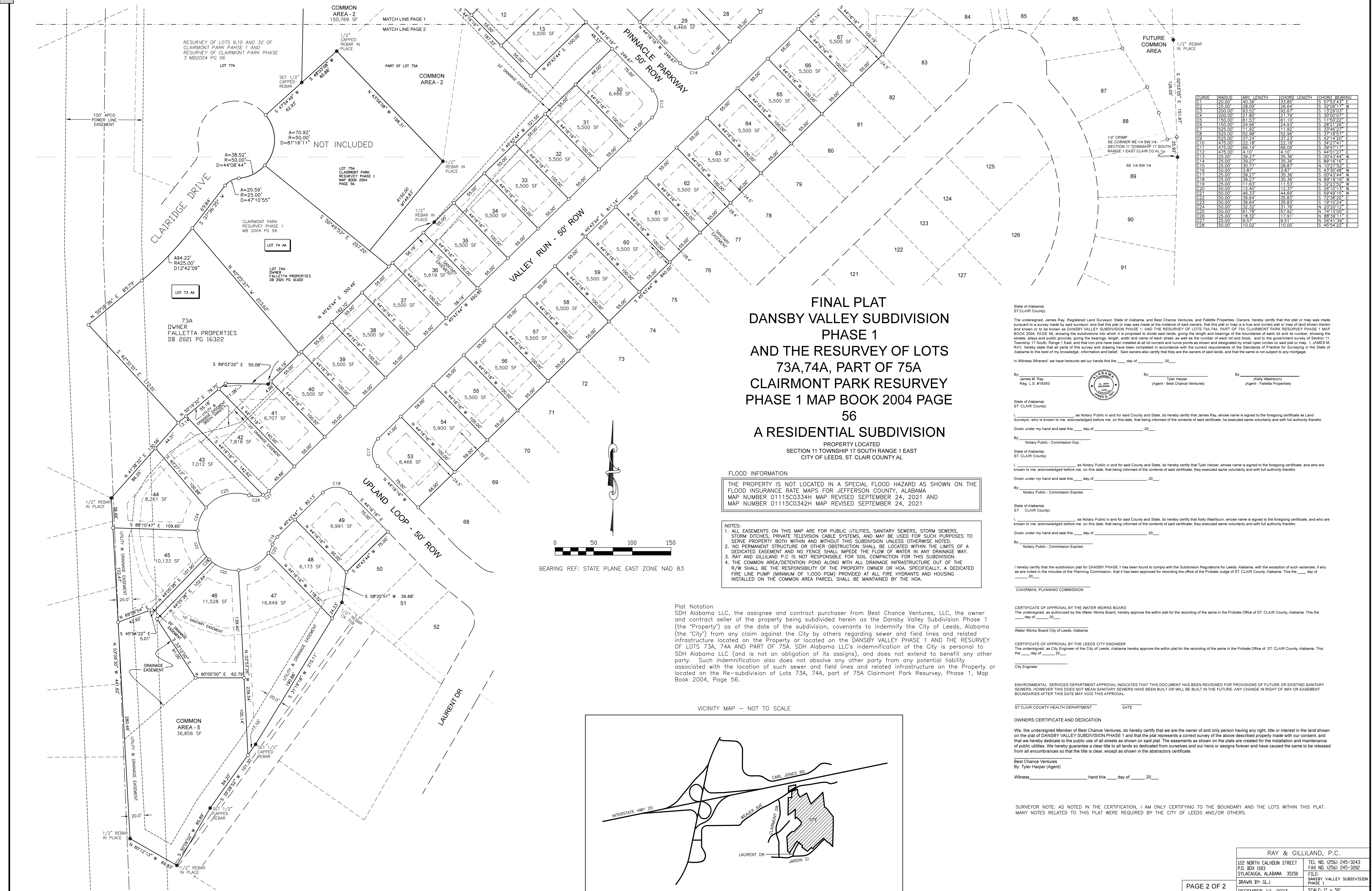


100' APCO POWER LINE EASEMENT

RESURVEY OF LOTS 9, 10 AND 32 OF
 CLAIMONT PARK PHASE 1 AND
 RESURVEY OF CLAIMONT PARK PHASE
 3 MB2004 PG 56

LOT 75A CLAIMONT PARK
 RESURVEY PHASE 1
 MAP BOOK 2004
 PAGE 56
 A=70.92'
 R=50.00'
 D=81°16'11"

COMMON
 AREA - 4
 5,500 SF
 10,758 SF



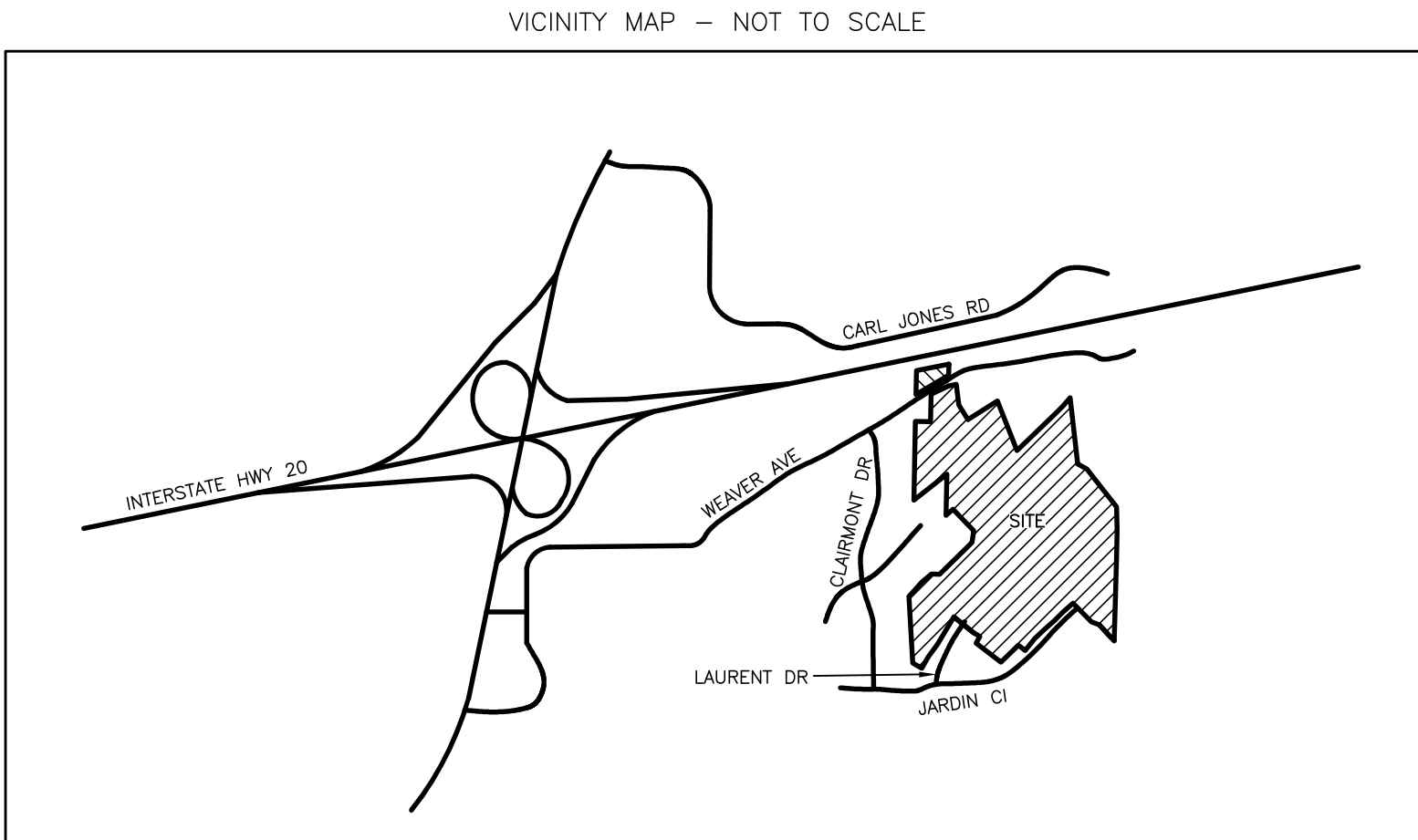
**FINAL PLAT
DANSBY VALLEY SUBDIVISION
PHASE 1
AND THE RESURVEY OF LOTS
73A, 74A, PART OF 75A
CLAIRMONT PARK RESURVEY
PHASE 1 MAP BOOK 2004 PAGE
56
A RESIDENTIAL SUBDIVISION**

PROPERTY LOCATED
SECTION 11 TOWNSHIP 17 SOUTH RANGE 1 EAST
CITY OF LEEDS, ST. CLAIR COUNTY AL

FLOOD INFORMATION
THE PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AS SHOWN ON THE FLOOD INSURANCE RATE MAPS FOR JEFFERSON COUNTY, ALABAMA MAP NUMBER 01115C0334H MAP REVISED SEPTEMBER 24, 2021 AND MAP NUMBER 01115C0342H MAP REVISED SEPTEMBER 24, 2021

NOTES:
1. ALL EASEMENTS ON THIS MAP ARE FOR PUBLIC UTILITIES, SANITARY SEWERS, STORM SEWERS, STORM DITCHES, PRIVATE TELEVISION CABLE SYSTEMS, AND MAY BE USED FOR SUCH PURPOSES TO SERVE PROPERTY BOTH WITHIN AND WITHOUT THIS SUBDIVISION UNLESS OTHERWISE NOTED.
2. NO PERMANENT STRUCTURE OR OTHER OBSTRUCTION SHALL BE LOCATED WITHIN THE LIMITS OF A DEDICATED EASEMENT AND NO FENCE SHALL IMPEDE THE FLOW OF WATER IN ANY DRAINAGE WAY.
3. RAY AND GILLILAND P.C IS NOT RESPONSIBLE FOR SOIL COMPACTION FOR THIS SUBDIVISION.
4. THE COMMON AREA/RETENTION POND ALONG WITH ALL DRAINAGE INFRASTRUCTURE OUT OF THE R/W SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER OR HOA. SPECIFICALLY, A DEDICATED FIRE LINE PUMP (MINIMUM OF 1,000 GPM) PROVIDED AT ALL FIRE HYDRANTS AND HOUSING INSTALLED ON THE COMMON AREA PARCEL SHALL BE MAINTAINED BY THE HOA.

Plot Notation
SDH Alabama LLC, the assignee and contract purchaser from Best Chance Ventures, LLC, the owner and contract seller of the property being subdivided herein as the Dansby Valley Subdivision Phase 1 (the "Property") as of the date of the subdivision, covenants to indemnify the City of Leeds, Alabama (the "City") from any claim against the City by others regarding sewer and field lines and related infrastructure located on the Property or located on the DANSBY VALLEY PHASE 1 AND THE RESURVEY OF LOTS 73A, 74A AND PART OF 75A. SDH Alabama LLC's indemnification of the City is personal to SDH Alabama LLC (and is not an obligation of its assigns), and does not extend to benefit any other party. Such indemnification also does not absolve any other party from any potential liability associated with the location of such sewer and field lines and related infrastructure on the Property or located on the Re-subdivision of Lots 73A, 74A, part of 75A Clairmont Park Resurvey, Phase 1, Map Book 2004, Page 56.



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	25.00'	42.09'	31.89'	S 39°41'17" W
C2	25.00'	42.09'	31.89'	S 39°41'17" W
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C25	50.00'	46.33'	44.69'	S 59°49'15" W
C26	25.00'	18.32'	17.91'	N 86°39'11" E
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C28	50.00'	110.02'	110.00'	S 45°54'22" E

State of Alabama
ST. CLAIR County

The undersigned, James Ray, Registered Land Surveyor, State of Alabama, and Best Chance Ventures, and Falletta Properties, Owners, hereby certify that this plat or map was made pursuant to a survey made by said surveyor, and that this plat or map was made at the instance of said owners, that this plat or map is a true and correct plat or map of land shown therein and known to be known as DANSBY VALLEY SUBDIVISION PHASE 1, AND THE RESURVEY OF LOTS 73A, 74A, PART OF 75A CLAIRMONT PARK RESURVEY PHASE 1, MAP BOOK 2004, PAGE 56, showing the subdivisions into which it is proposed to divide said lands, giving the length and bearings of the boundaries of each lot and the government survey of Section 11, Township 17 South, Range 1 East, and that no area have been retained at all lot corners and curve points as shown and designated by small open circles on said plat or map. I, JAMES M. RAY, hereby state that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information and belief. Said owners also certify that they are the owners of said lands, and that the same is not subject to any mortgage.

In Witness Whereof, we have hereunto set our hands this ___ day of _____, 20__.

By: James M. Ray
Reg. L.S. #18383

By: Tyler Harper
(Agent - Best Chance Ventures)

By: (Kelly Washburn)
(Falletta Properties)

State of Alabama
ST. CLAIR County

I, _____, as Notary Public in and for said County and State, do hereby certify that James Ray, whose name is signed to the foregoing certificate as Land Surveyor, who is known to me, acknowledged before me, on this date, that being informed of the contents of said certificate, he executed same voluntarily and with full authority therefor.

Given under my hand and seal this ___ day of _____, 20__.

By: _____
Notary Public - Commission Exp. _____

State of Alabama
ST. CLAIR County

I, _____, as Notary Public in and for said County and State, do hereby certify that Tyler Harper, whose name is signed to the foregoing certificate, and who are known to me, acknowledged before me, on this date, that being informed of the contents of said certificate, they executed same voluntarily and with full authority therefor.

Given under my hand and seal this ___ day of _____, 20__.

By: _____
Notary Public - Commission Expires: _____

State of Alabama
ST. CLAIR County

I, _____, as Notary Public in and for said County and State, do hereby certify that Kelly Washburn, whose name is signed to the foregoing certificate, and who are known to me, acknowledged before me, on this date, that being informed of the contents of said certificate, they executed same voluntarily and with full authority therefor.

Given under my hand and seal this ___ day of _____, 20__.

By: _____
Notary Public - Commission Expires: _____

I hereby certify that the subdivision plat for DANSBY PHASE 1 has been found to comply with the Subdivision Regulations for Leeds, Alabama, with the exception of such variances, if any as are noted in the minutes of the Planning Commission, that it has been approved for recording the office of the Probate Judge of ST. CLAIR County, Alabama. This the ___ day of _____, 20__.

CHAIRMAN, PLANNING COMMISSION

CERTIFICATE OF APPROVAL BY THE WATER WORKS BOARD
The undersigned, as authorized by the Water Works Board, hereby approve the within plat for the recording of the same in the Probate Office of ST. CLAIR County, Alabama. This the ___ day of _____, 20__.

Water Works Board City of Leeds, Alabama

CERTIFICATE OF APPROVAL BY THE LEEDS CITY ENGINEER
The undersigned, as City Engineer of the City of Leeds, Alabama hereby approve the within plat for the recording of the same in the Probate Office of ST. CLAIR County, Alabama. This the ___ day of _____, 20__.

City Engineer

ENVIRONMENTAL SERVICES DEPARTMENT APPROVAL INDICATES THAT THIS DOCUMENT HAS BEEN REVIEWED FOR PROVISIONS OF FUTURE OR EXISTING SANITARY SEWERS. HOWEVER THIS DOES NOT MEAN SANITARY SEWERS HAVE BEEN BUILT OR WILL BE BUILT IN THE FUTURE. ANY CHANGE IN RIGHT OF WAY OR EASEMENT BOUNDARIES AFTER THIS DATE MAY VOID THIS APPROVAL.

ST. CLAIR COUNTY HEALTH DEPARTMENT _____ DATE _____

OWNERS CERTIFICATE AND DEDICATION
We, the undersigned Member of Best Chance Ventures, do hereby certify that we are the owner of and only person having any right, title or interest in the land shown on the plat of DANSBY VALLEY SUBDIVISION PHASE 1 and that the plat represents a correct survey of the above described property made with our consent, and that we hereby dedicate to the public use of all streets as shown on said plat. The easements as shown on the plats are created for the installation and maintenance of public utilities. We hereby guarantee a clear title to all lands so dedicated from ourselves and our heirs or assigns forever and have caused the same to be released from all encumbrances so that the title is clear, except as shown in the abstractors certificate.

Best Chance Ventures
By: Tyler Harper (Agent)

Witness _____ hand this ___ day of _____, 20__.

SURVEYOR NOTE: AS NOTED IN THE CERTIFICATION, I AM ONLY CERTIFYING TO THE BOUNDARY AND THE LOTS WITHIN THIS PLAT. MANY NOTES RELATED TO THIS PLAT WERE REQUIRED BY THE CITY OF LEEDS AND/OR OTHERS.